

# CITY OF *Beachwood*

**Beachwood Planning and Zoning Commission Meeting  
Thursday, May 28, 2026, 6:30 PM  
at Beachwood City Hall, Council Chambers,  
25325 Fairmount Boulevard, Beachwood, Ohio 44122**

## Amended Agenda

### New Business

#### Agenda Items

1. Roll Call
2. Council Report
3. Citizen's Remarks
4. Planning and Zoning Commission  
**2025-32** Allayne Stephans has requested approval of a revised lot split plat to divide the existing PPN 741-12-001 into three (3) parcels, for 24400 Cedar Road, The Hanger Club.
5. Planning and Zoning Commission  
**P&Z 2026-4(A)** Brandon Kline has requested final site plan approval for the property located at 23240 Chagrin Blvd.
6. Planning and Zoning Commission  
**2026-12** Phillip Soroky has requested preliminary and final site plan approval for replacement of sound/privacy panels located at 3208-3296 Richmond Road, Baywood Estates Condominiums.
7. Planning and Zoning Commission  
**2026-13** Alpesh Chavda has requested preliminary and final site plan approval for a drone charging station pad to be located at 3175 Science Park Drive, Cleveland Clinic.
8. Planning and Zoning Commission  
**2026-14** Rezoning 2547 Edgewood Road (PPN 741-08-034), 2555 Edgewood Road (PPN 741-08-036), and 2561 Edgewood Road (PPN 741-08-037) from U-1 Single-Family Residential District to U-5 Public and Institutional District (Ordinance No. 2026-19, referred from Council May 4, 2026).
9. Planning and Zoning Commission  
**2026-16** Hadassah Munk has requested a 10' side street right-of-way variance for a fence at 2367 Beachwood Blvd., in accordance with BCO Section 1146.02(c)(5), Fences.
10. Planning and Zoning Commission  
**2026-17** Richard Parker has requested preliminary site plan approval for site and building redevelopment for the children's day camp at 26001 South Woodland Road, Mandel Jewish Community Center.



25325 Fairmount Blvd. • Beachwood, Ohio 44122  
Phone (216)292-1914 • Fax (216)292-1917  
Email: Building@beachwoodohio.com

**PLANNING & ZONING APPLICATION**

Form must be completed or will not be processed

APPLICATION DATE: 5/5/2026

OWNER OF BUILDING: The Hangar Second Century LLC PHONE: 216 381-6540

STREET ADDRESS: 24400 Cedar Road

CITY/STATE/ZIP: Beachwood, Ohio 44122

APPLICANT: Allayne Stephans MD PHONE: 216 832 7096

COMPANY OR FIRM: Self

EMAIL: thehangarbeachwood@gmail.com

STREET ADDRESS: 2150 Richmond Road

CITY/STATE/ZIP: Beachwood, Ohio 44122

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Jeffery Plautz, Neff Associates; cell 216 645 1673; jplautz@neff-assoc.com

DESCRIPTION OF THE PROPERTY:

ADDRESS: 24400 Cedar Road SUITE # \_\_\_\_\_

TENANT NAME: The Hangar Swim and Tennis Club

PERMANENT PARCEL # 741 .12 .001 PRESENT USE: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_

PURPOSE OF APPLICATION: Requesting lot split into 3 lots for the purpose of donation of a historic building to a private operating foundation

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other \_\_\_\_\_
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

Not requesting a variance at this time

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. This part of a philanthropic effort to preserve a historic building and the surrounding 4 acres from commercial development

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

|     | <u>Zoning District</u>  | <u>Fee</u> |
|-----|---|------------|
| (1) | U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances<br>Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office. | \$300.00   |
| (2) | All other Zoning Districts for site development plan review (new building/addition)   | \$5,000.00 |
| (3) | All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office  | \$1,500.00 |
| (4) | For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use  | \$750.00   |
| (5) | Map Amendment   | \$2,500.00 |

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

\_\_\_\_\_ SIGNATURE                      Allayne Stephans MD PRINTED NAME                      5/5/2026 DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE:                      RECEIPT # \_\_\_\_\_                      AMOUNT \$ \_\_\_\_\_                      DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_ Date                      Final Approval: \_\_\_\_\_ Date

Recommendation to Council:     YES     NO    Meeting Date: \_\_\_\_\_

# Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

## Taxable Assessed Values

|                    |                  |
|--------------------|------------------|
| Land Value         | \$189,810        |
| Building Value     | \$164,010        |
| <b>Total Value</b> | <b>\$353,820</b> |

## Taxable Market Values

|                    |                    |
|--------------------|--------------------|
| Land Value         | \$542,300          |
| Building Value     | \$468,600          |
| <b>Total Value</b> | <b>\$1,010,900</b> |

## Flags

|                        |   |
|------------------------|---|
| Owner Occupancy Credit | N |
| Homestead Reduction    | N |
| Foreclosure            | N |
| Cert. Pending          | N |
| Cert. Sold             | N |
| Payment Plan           | N |

## First Half Year Charge Amounts

|                            |                    |
|----------------------------|--------------------|
| Gross Tax                  | \$21,531.72        |
| Less 920 Reduction         | \$8,431.16         |
| Sub Total                  | \$13,100.56        |
| Non-business Credit        | \$0.00             |
| Owner Occupancy Credit     | \$0.00             |
| Homestead Reduction        | \$0.00             |
| <b>Total Assessments</b>   | <b>\$382.95</b>    |
| <b>Half Year Net Taxes</b> | <b>\$13,483.51</b> |

## Second Half Year Charge Amounts

|                            |                    |
|----------------------------|--------------------|
| Gross Tax                  | \$21,531.72        |
| Less 920 Reduction         | \$8,431.16         |
| Sub Total                  | \$13,100.56        |
| Non-business Credit        | \$0.00             |
| Owner Occupancy Credit     | \$0.00             |
| Homestead Reduction        | \$0.00             |
| <b>Total Assessments</b>   | <b>\$382.95</b>    |
| <b>Half Year Net Taxes</b> | <b>\$13,483.51</b> |

## Rates

|                    |           |
|--------------------|-----------|
| Full Rate          | 121.71    |
| 920 Reduction Rate | .391569   |
| Effective Rate     | 74.052084 |

## Escrow

|                |        |
|----------------|--------|
| Escrow         | N      |
| Payment Amount | \$0.00 |

## Charges

**\$26,967.02**

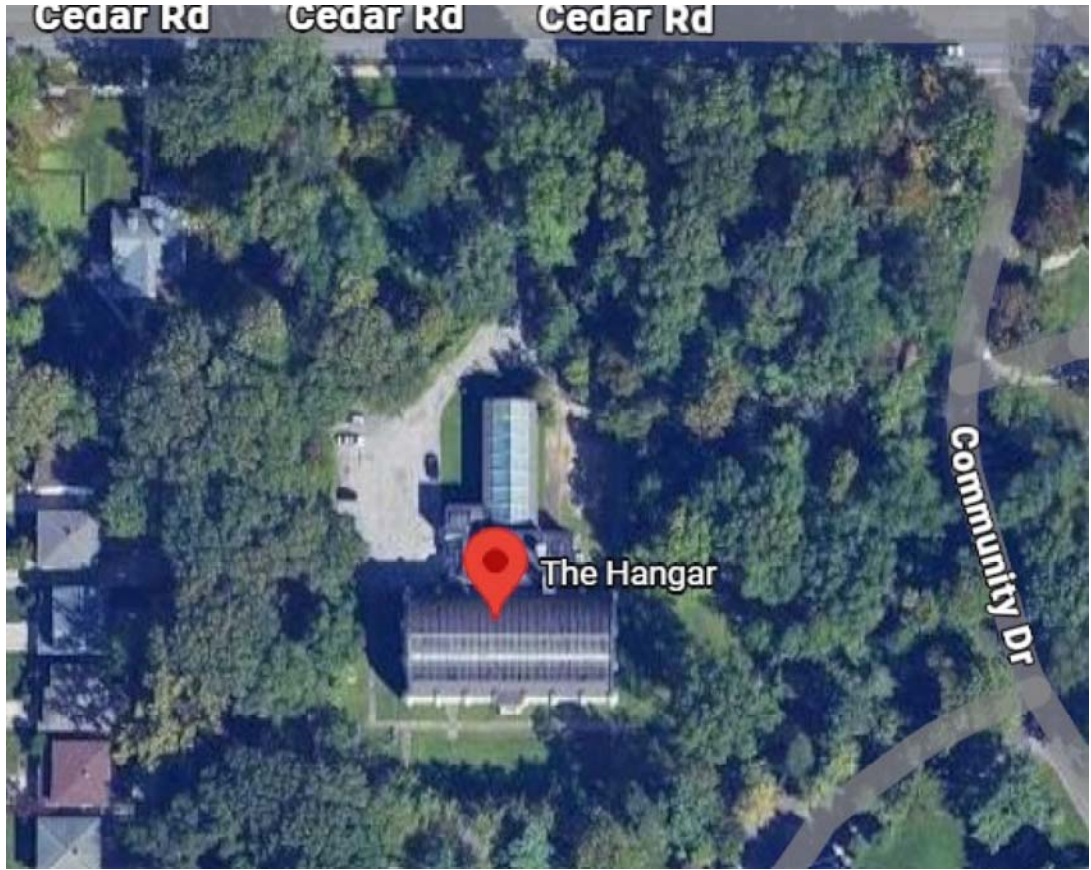
## Payments

**\$13,561.97**

## Balance Due

**\$13,405.05**

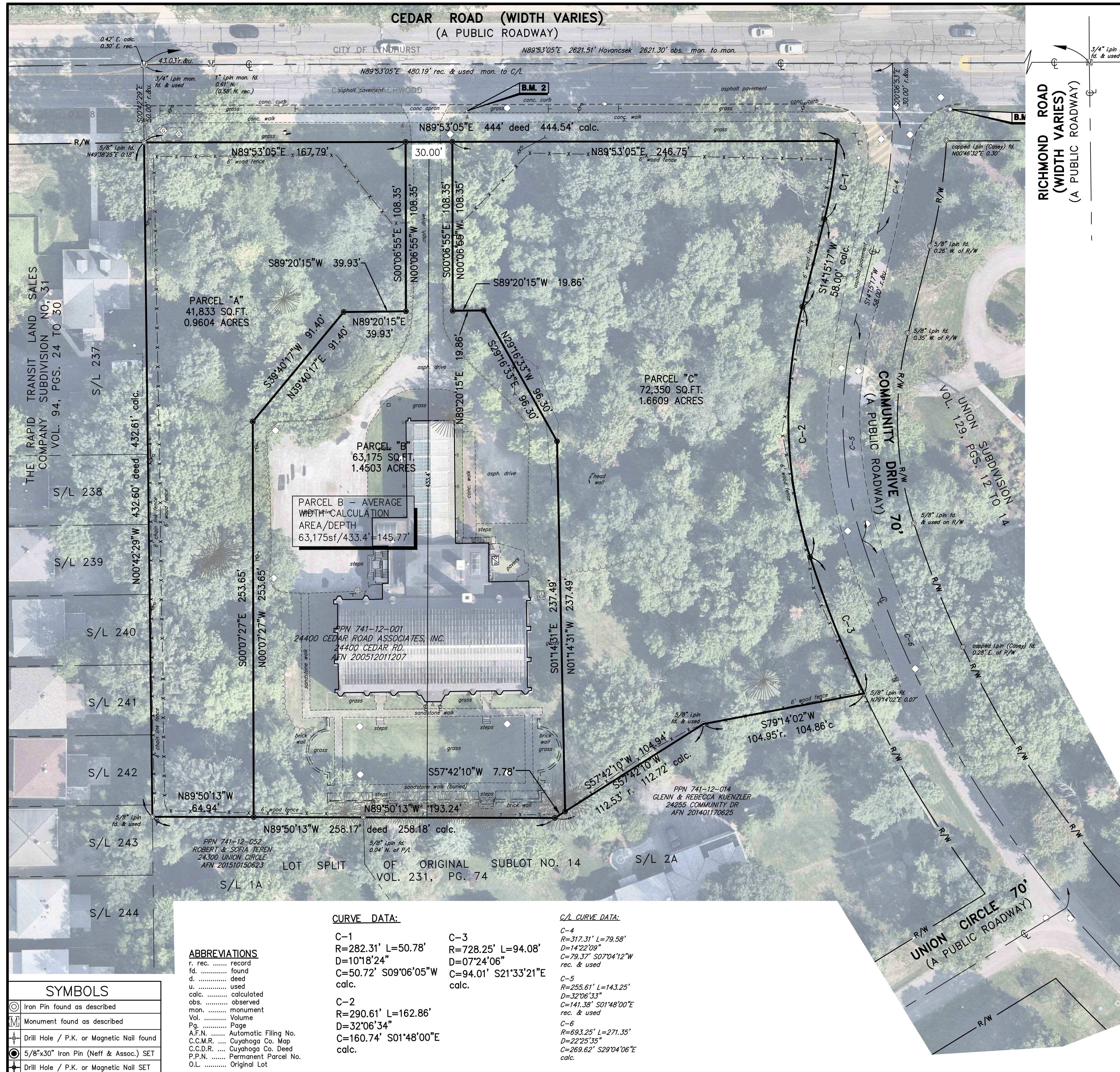
Tax Balance Summary



**CEDAR ROAD (WIDTH VARIES)**  
(A PUBLIC ROADWAY)

THE INTENT OF THIS PLAT IS TO SPLIT PERMANENT  
PARCEL NUMBER 741-12-001 TO CREATE NEW  
PARCELS "A", "B", AND "C".

Situated in the City of Beachwood, County of Cuyahoga, State of Ohio and  
known as being part of Original Warrensville Township Lot No. 9



**OWNERS ACCEPTANCE**

I, \_\_\_\_\_ Representative of **24400 CEDAR ROAD ASSOCIATES, INC.** being the, Owners of Cuyahoga County Parcel Number 741-12-001, being the lands shown hereon, do hereby accept this Lot Split Plat as shown.

By: \_\_\_\_\_ Representative \_\_\_\_\_ Printed Name \_\_\_\_\_

Title \_\_\_\_\_

**NOTARY**

County of \_\_\_\_\_  
State of \_\_\_\_\_ SS

Before me, a Notary Public in and for said County and State, personally appeared the above named \_\_\_\_\_ Representative of **24400 CEDAR ROAD ASSOCIATES, INC.** being the Owners of the lands shown hereon, who acknowledged the signing of the foregoing instrument to be their free act and deed personally and as said Officer, the free act and deed of said company.

In witness whereof, I have hereunto set my hand and official seal at \_\_\_\_\_, Ohio this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

Notary Public \_\_\_\_\_ Commission expiration \_\_\_\_\_

**APPROVALS:**

APPROVED BY THE ENGINEER OF THE CITY OF BEACHWOOD, OHIO THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CITY ENGINEER \_\_\_\_\_ Signature \_\_\_\_\_

APPROVED BY THE CITY OF BEACHWOOD, OHIO PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SECRETARY \_\_\_\_\_ Signature \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ Signature \_\_\_\_\_

**SURVEY REFERENCES:**

THE RAPID TRANSIT LAND SALES SUBDIVISION NO. 31  
VOL. 94 PG. 24-30 C.C.M.R.

UNION SUBDIVISION - VOL. 129 PG. 12 C.C.M.R.

LOT SPLIT OF ORIGINAL SUBLOT NO. 14  
VOL. 231 PG. 74 C.C.M.R.

PLAT OF DEDICATION CEDAR ROAD AND RICHMOND ROAD  
VOL. 332 PG. 80 C.C.M.R.

PLAT OF PARTITION LEGACY VILLAGE LOT SPLIT PLAN NO. 5  
VOL. 380 PG. 63 C.C.M.R.

**SURVEY CERTIFICATION**

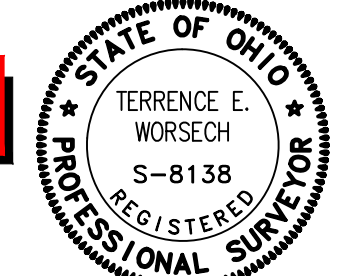
DISTANCES SHOWN HEREON ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. THE BASIS OF BEARINGS FOR THIS SURVEY IS NAD83 (2011) OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3401) AND IS USED TO DENOTE ANGLES ONLY.

THIS SURVEY ON WHICH IT IS BASED WAS PREPARED IN ACCORDANCE WITH AND SATISFY THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS IN THE STATE OF OHIO, AS CODIFIED IN CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE IN EFFECT AT THE TIME.

I HEREBY STATE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, ALL TO BE CORRECT. FIELD WORK PERFORMED MARCH 25, 2025.

**PRELIMINARY**

TERRENCE E. WORSECH  
REGISTERED SURVEYOR NO. 8138-OHIO



09/15/2025  
DATE

**CURVE DATA:**

- C-1  
R=282.31' L=50.78'  
D=10'18'24"  
C=50.72' S09'06'05"W  
calc.
- C-2  
R=290.61' L=162.86'  
D=32'06'34"  
C=160.74' S01'48'00"E  
calc.
- C-3  
R=728.25' L=94.08'  
D=07'24'06"  
C=94.01' S21'33'21"E  
calc.

**C/L CURVE DATA:**

- C-4  
R=317.31' L=79.58'  
D=14'22'09"  
C=79.37' S07'04'12"W  
rec. & used
- C-5  
R=255.61' L=143.25'  
D=32'06'33"  
C=141.38' S01'48'00"E  
rec. & used
- C-6  
R=693.25' L=271.35'  
D=22'25'35"  
C=269.62' S29'04'06"E  
calc.

**ABBREVIATIONS**

- r. rec. .... record
- fd. .... found
- d. .... deed
- u. .... used
- cal. .... calculated
- obs. .... observed
- mon. .... monument
- Vol. .... Volume
- Pg. .... Page
- A.F.N. .... Automatic Filing No.
- C.C.M.R. .... Cuyahoga Co. Map
- C.C.D.R. .... Cuyahoga Co. Deed
- P.P.N. .... Permanent Parcel No.
- O.L. .... Original Lot

**SYMBOLS**

- ⊙ Iron Pin found as described
- ⊕ Monument found as described
- ⊕ Drill Hole / P.K. or Magnetic Nail found
- ⊕ 5/8"x30" Iron Pin (Neff & Assoc.) SET
- ⊕ Drill Hole / P.K. or Magnetic Nail SET

THE HANGAR - 24400 CEDAR ROAD  
**LOT SPLIT PLAT**  
CITY OF BEACHWOOD, COUNTY OF CUYAHOGA, STATE OF OHIO



SHEET NO.  
**1 OF 1**

|          |          |                  |
|----------|----------|------------------|
| REV NO   | DATE     | DESCRIPTION      |
| 07-02-25 |          | Submit to Client |
| DWG NAME | DRAWN BY | CHECKED BY       |
| 15066-E  | CWC      | TEW              |
|          | JOB NO   |                  |
|          | 15066    |                  |

N:\LAND DEVELOPMENT\Proj\15066A The Hangar Beachwood\Survey\AutoCAD Survey\15066A-ALTA.dwg, 4/13/2026 2:00:56 PM, DWG To PDF.p3

**LEGAL DESCRIPTION**

Situated in the City of Beachwood, County of Cuyahoga and State of Ohio, and, known as being part of original Warrensville Township Lot No. 9, and bounded and described as follows:

Beginning on the Southerly line of Cedar Road, 80 feet wide, at its intersection with the Westerly line of Community drive, 70 feet wide, as shown by the union subdivision Recorded in Volume 129 of Maps, Page 12 of Cuyahoga County records; thence westerly along the southerly line of Cedar Road, about 444 feet to the westerly line of land conveyed to Elizabeth R. Blossom by deed dated July 1, 1935 and Recorded in Volume 4514, Page 697 of Cuyahoga County records; thence southerly along the westerly line of land so conveyed, 432.60 feet to the northwesterly corner of sub Lot No. 14 in the union subdivision as aforesaid; thence Easterly along the northerly line of said sub Lot No. 14, 258.17 feet to the most westerly corner of land conveyed to Gilbert H. Harrison by deed dated November 24, 1936 and Recorded in Volume 4667, Page 589 of Cuyahoga County records; thence northeasterly along the northwesterly line of land so conveyed, 217.48 feet to the westerly line of community drive; thence northerly along the westerly line of community drive, to the place of beginning, be the same more or less, but subject to all legal highways.

**SURVEYOR'S NOTES**

As to Item 9 of Table A of the Survey Requirements, there are 0 total striped parking spaces of which 0 are marked disabled spaces and 0 are standard spaces.

As to Item 16 of Table A of the Survey Requirements, there is NO observed evidence of current earth moving work, building construction or building additions.

As to Item 17 of Table A of the Survey Requirements, there are NO known changes in street right of way lines or observed evidence of recent street or sidewalk construction or repairs.

The Property has direct access to Cedar Road and frontage along Community Drive, both a public right of way.

The property described hereon is the same as the property described in Title Insurance No. 2637040183 dated March 31, 2026 @ 7:29 a.m. issued by Chicago Title Insurance Company and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.

**BASIS OF BEARING**

The basis of bearings for the premises surveyed is NAD83 (CORS96) Ohio State Plane Coordinate System, North Zone (3401).

**TOTAL LAND AREA**

4.0691 ACRES (177,248 SQUARE FEET)

**FLOOD\_ZONE CERTIFICATION**

I hereby certify that the Title Parcel shown hereon does not lie within a special flood hazard zone according to the National Flood Insurance Program as shown on the Flood Insurance Rate Map of Community Panel Number 39035C0094E dated December 3, 2010 and noted as Zone X.

**ENCROACHMENTS**

Subject fence over into Community Drive right of way along the easterly property line.

Neighbor's fences over subject premises along the westerly property line.

**SCHEDULE B, SECTION II**

This survey coordinated with a title commitment for an ALTA Owner's Policy of Title Insurance No. 2637040183 dated March 31, 2026 @ 7:29 a.m. issued by Chicago Title Insurance Company.

1 - Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.  
NOT A SURVEY MATTER.

2 - Taxes or special assessments which are not shown as existing liens by the Public Records.  
NOT A SURVEY MATTER.

3 - Rights or claims of parties in possession not shown by the Public Records.  
NOT A SURVEY MATTER.

4 - Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land.  
NOT A SURVEY MATTER.

5 - Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.  
NOT A SURVEY MATTER.

6 - No liability is assumed for tax increases occasioned by the retroactive revaluation as a result of the change in land usage, on account of errors or omissions and changes in the valuation of the property by legally constituted authorities.  
NOT A SURVEY MATTER.

7 - Covenants, conditions and restrictions and other instruments recorded in the public records and purporting to impose a transfer fee or conveyance fee payable upon the conveyance of an interest in real property or payable for the right to make or accept such a transfer, and any and all fees, liens or charges, whether recorded or unrecorded, if any, currently due payable or that will become due or payable, and any other rights deriving therefrom, that are assessed pursuant thereto.  
NOT A SURVEY MATTER.

8 - Oil and gas leases, pipeline agreements or any other instruments related to the production or sale of oil and gas which may arise subsequent to the date of the Policy, pursuant to Ohio Revised Code Section 1509.31(D).  
NOT A SURVEY MATTER.

9 - Any lease, grant, exception or reservation of minerals or mineral rights together with any rights appurtenant thereto.  
NOT A SURVEY MATTER.

10 - Any map/plot furnished is being done so as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.  
NOT A SURVEY MATTER.

11 - No liability is assumed for tax increases occasioned by the retroactive revaluation as a result of the change in land usage, on account of errors or omissions and changes in the valuation of the property by legally constituted authorities.  
NOT A SURVEY MATTER.

12 - Notice: Please be aware that the Company will not insure a prohibited person as defined under the Ohio Revised Code Section 5301.256 as to the ownership in agricultural land or land in proximity to a military installation as defined under the referenced code section which is an excluded matter under the Exclusions from Coverage of any policy issued.  
NOT A SURVEY MATTER.

13 - Title to that portion of the insured premises within the bounds of any legal highway.  
NOT A SURVEY MATTER.

14 - Rights of tenants in possession as tenants only under unrecorded leases.  
NOT A SURVEY MATTER.

15 - Easement or claims of easements not shown by the Public Records.  
NOT A SURVEY MATTER.

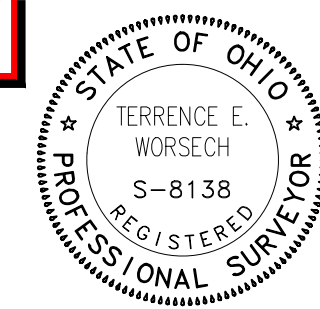
16 - Taxes for the last half year of 2025 and subsequent years are a lien, but are not yet due and payable.  
NOT A SURVEY MATTER.

**SURVEY CERTIFICATION**

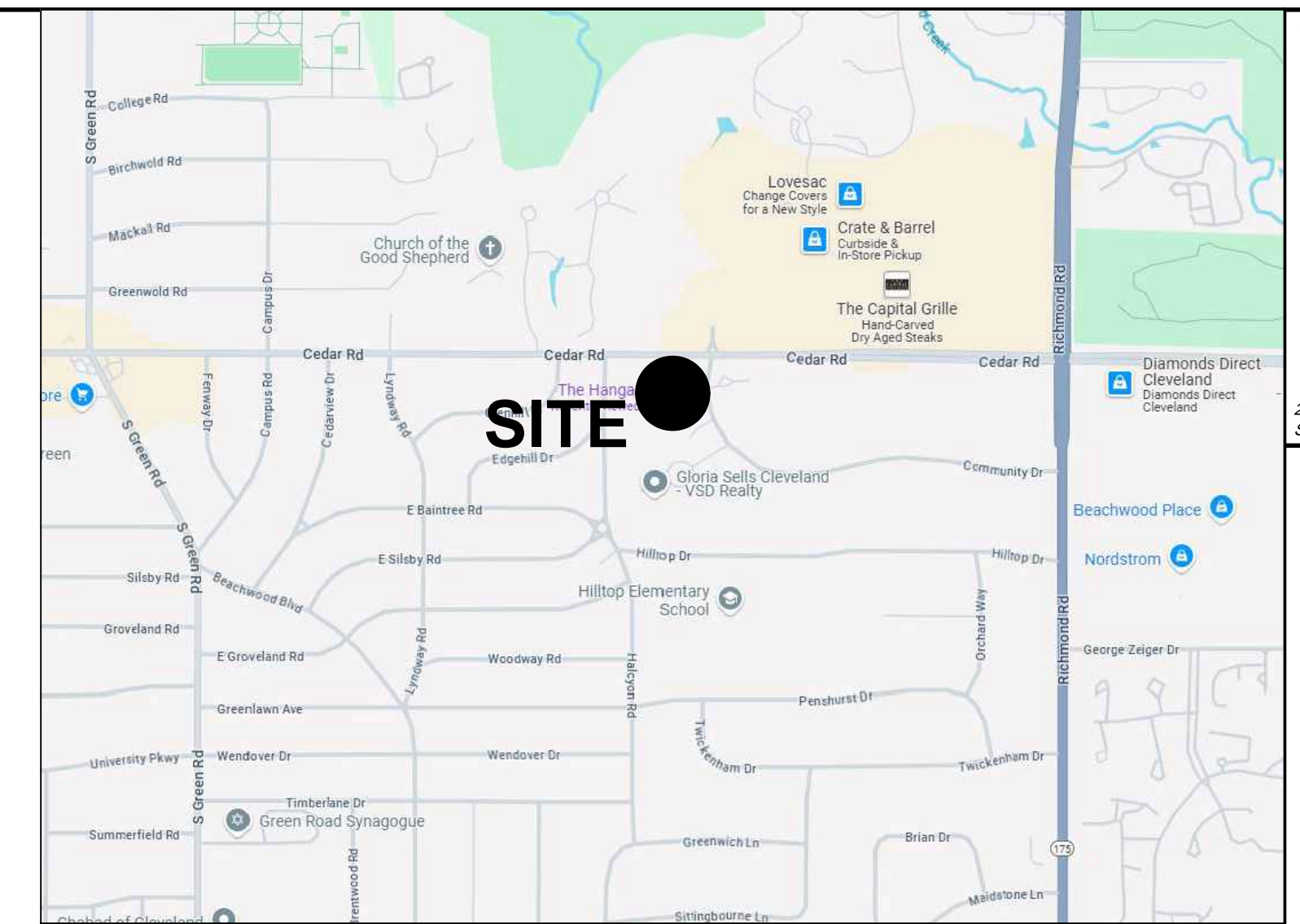
24400 Cedar Road LLC, an Ohio limited liability company  
The Hangar Second Century LLC, an Ohio limited liability company  
Chicago Title Insurance Company

This is to certify that this map or plot and the survey on which it was based were made in accordance with the 2026 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 17, 18 and 19 of Table A thereof.  
The field work was completed on April 7, 2026.

**PRELIMINARY**  
Terrence E. Worsch  
Registered Surveyor No. 8138-Ohio



April 13, 2026  
Date



VICINITY MAP  
NOT TO SCALE

**ZONING REGULATIONS**

Zoning Report prepared by Partner Assessment Corporation, dated April 10, 2026 Project # 26-587772.1 and prepared for Calfee, Halter & Griswold LLP for 24400 Cedar Road, Beachwood, Ohio 44122.

If you have questions, comments, or revisions regarding this report, please contact Zoning Relationship Manager Jay Grenfell at jgrenfell@partneresi.com 415.992.3755

ZONING DISTRICT - U-1A1, SINGLE FAMILY RESIDENTIAL DISTRICT

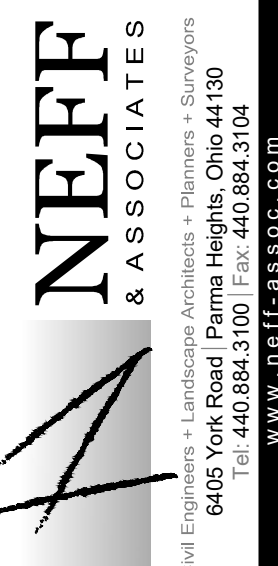
**Area Regulations**

|                                  |            |  |
|----------------------------------|------------|--|
| Minimum Front Yard Setback       | 1113.04    | 20% of the average depth of the lot or 35 Feet, whichever is greater.  |
| Minimum Corner Side Yard Setback | 1113.04    | 20% of the average width of such lot, or twenty (20') feet whichever is greater  |
| Minimum Side Yard Setback        | 1113.05    | 14 Feet, for Lot Frontages 100 Feet and over; 28 Feet of Combined Open Side Yard*  |
| Minimum Rear Yard Setback        | 1113.03    | The least dimension of such rear yard shall be 30% of the average depth of the lot; need not be more than 40 Feet  |
| Maximum Building Height          | 1113.08    | 35 Feet  |
| Minimum Floor Area               | 1113.06(b) | A-1 Area: 2,400 Square Feet<br>A-2 Area: 1,800 Square Feet   |
| Maximum Floor Area               | 1113.06(c) | When Lot Area is greater than 24,000 Square Feet: 1.1 x Buildable Area = (Approximately 1.1 x 140,000 Square Feet of Buildable Area) = 154,000 Square Feet |
| Maximum Building Coverage        | 1113       | None Specified   |

**Parking Requirements**

Recreation Facilities and Community Centers 1 Space per each 400 Square Feet of Gross Floor Area

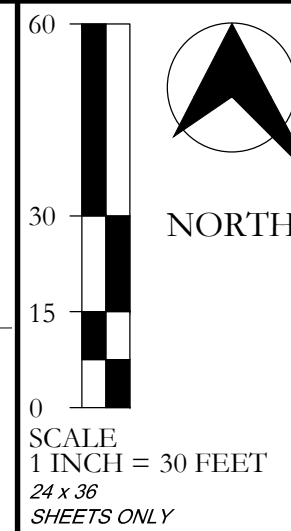
THE HANGAR - 24400 CEDAR ROAD  
ALTA/NSPS LAND TITLE SURVEY  
CITY OF BEACHWOOD, COUNTY OF CUYAHOGA, STATE OF OHIO



| 1           | 04-13-26 | Zoning Report added |        |
|-------------|----------|---------------------|--------|
|             | 04-09-26 | Submit to client    |        |
| REV NO      | DATE     | DESCRIPTION         |        |
| DWG NAME    | DRAWN BY | CHKD BY             | JOB NO |
| 15066A-ALTA | MK-JK    | TW                  | 15066A |

SHEET NO.  
1 OF 2

CEDAR ROAD (WIDTH VARIES)  
(A PUBLIC ROADWAY)



**SYMBOL LEGEND**

|  |                                   |
|--|-----------------------------------|
|  | CENTER LINE                       |
|  | PROPERTY LINE                     |
|  | CONSOLIDATED LOTS                 |
|  | IRON PIN/PIPE FOUND               |
|  | IRON PIN SET                      |
|  | MONUMENT BOX FOUND                |
|  | DRILL HOLE FOUND                  |
|  | DRILL HOLE SET                    |
|  | IRON NAIL FOUND                   |
|  | IRON NAIL SET                     |
|  | EXISTING FIRE HYDRANT             |
|  | EXISTING STAND PIPE               |
|  | EXISTING WATER VALVE              |
|  | EXISTING GAS VALVE                |
|  | EXISTING IRRIGATION CONTROL VALVE |
|  | EXISTING CLEAN OUT                |
|  | EXISTING DOWNSPOUT                |
|  | EXISTING WATER LINE VALVE         |
|  | EXISTING WATER CORP STOP          |
|  | EXISTING GAS METER                |
|  | EXISTING WATER METER              |
|  | EXISTING ELECTRIC METER           |
|  | EXISTING SQUARE INLET BASIN       |
|  | EXISTING ROUND INLET BASIN        |
|  | EXISTING YARD BASIN               |
|  | EXISTING CURB INLET BASIN         |
|  | EXISTING GUTTER INLET BASIN       |
|  | EXISTING SQUARE MANHOLE           |
|  | EXISTING MANHOLE                  |
|  | EXISTING CABLE MANHOLE            |
|  | EXISTING ELECTRIC MANHOLE         |
|  | EXISTING ELECTRIC HAND HOLE       |
|  | EXISTING GAS MANHOLE              |
|  | EXISTING TELEPHONE MANHOLE        |
|  | EXISTING WATER MANHOLE            |
|  | EXISTING MONITORING WELL          |
|  | EXISTING FLAG POLE                |
|  | EXISTING SIGNAL POLE              |
|  | EXISTING POWER POLE               |
|  | EXISTING GUY ANCHOR               |
|  | EXISTING LIGHT POLE               |
|  | EXISTING SQUARE LIGHT POLE        |
|  | EXISTING GROUND LIGHT             |
|  | EXISTING RAILROAD SIGNAL          |
|  | EXISTING TRAFFIC POLE             |
|  | EXISTING TRAFFIC SIGNAL           |
|  | EXISTING TRANSFORMER              |
|  | EXISTING CABLE BOX                |
|  | EXISTING UTILITY BOX (ELEC, TELE) |
|  | EXISTING TELEPHONE BOX            |
|  | EXISTING TRAFFIC BOX              |
|  | EXISTING BOLLARD                  |
|  | EXISTING TRAFFIC SIGN             |
|  | EXISTING MAILBOX                  |
|  | EXISTING TREE                     |
|  | EXISTING HANDICAP PARKING         |
|  | EX. SANITARY SEWER                |
|  | EX. STORM SEWER                   |
|  | EX. WATER LINE                    |
|  | EX. FENCE                         |
|  | EX. GAS LINE                      |
|  | EX. UNDERGROUND ELECTRIC          |
|  | EX. UNDERGROUND TELEPHONE         |
|  | EX. OVERHEAD UTILITY LINE         |

**ABBREVIATIONS**

|                 |                          |
|-----------------|--------------------------|
| AFN.....        | AUTOMATED FILING NO.     |
| ASPH.....       | ASPHALT                  |
| C. or CALC..... | CALCULATED               |
| CL.....         | CENTER LINE              |
| CONC.....       | CONCRETE                 |
| C.D.R.....      | COUNTY DEED RECORD       |
| C.M.R.....      | COUNTY MAP RECORD        |
| D.....          | DEED                     |
| EX.....         | EXISTING                 |
| FD.....         | FOUND                    |
| FF EL.....      | FINISH FLOOR ELEVATION   |
| INSTR.....      | INSTRUMENT               |
| L/A.....        | LIMITED ACCESS           |
| MON.....        | MONUMENT                 |
| O. or OBS.....  | OBSERVED                 |
| PG.....         | PAGE                     |
| P or P/L.....   | PROPERTY LINE            |
| PPN.....        | PERMANENT PARCEL NO.     |
| PVMT.....       | PAVEMENT                 |
| R or REC.....   | RECORD                   |
| R/W.....        | RIGHT OF WAY             |
| SQ. FT.....     | SQUARE FEET              |
| U.....          | USED                     |
| VOL.....        | VOLUME                   |
| SAN.....        | SANITARY                 |
| STM.....        | STORM                    |
| WAT.....        | WATER                    |
| INV.....        | INVERT                   |
| PVC.....        | POLYVINYL CHLORIDE       |
| VCP.....        | VITRIFIED CLAY PIPE      |
| RCP.....        | REINFORCED CONCRETE PIPE |
| CMP.....        | CORRUGATED METAL PIPE    |
| GUT.....        | GUTTER                   |
| TC.....         | TOP OF CURB              |

THE RAPID TRANSIT LAND SALES  
COMPANY SUBDIVISION NO. 31  
VOL. 94, PGS. 24 TO 30

S/L 237  
S/L 238  
S/L 239

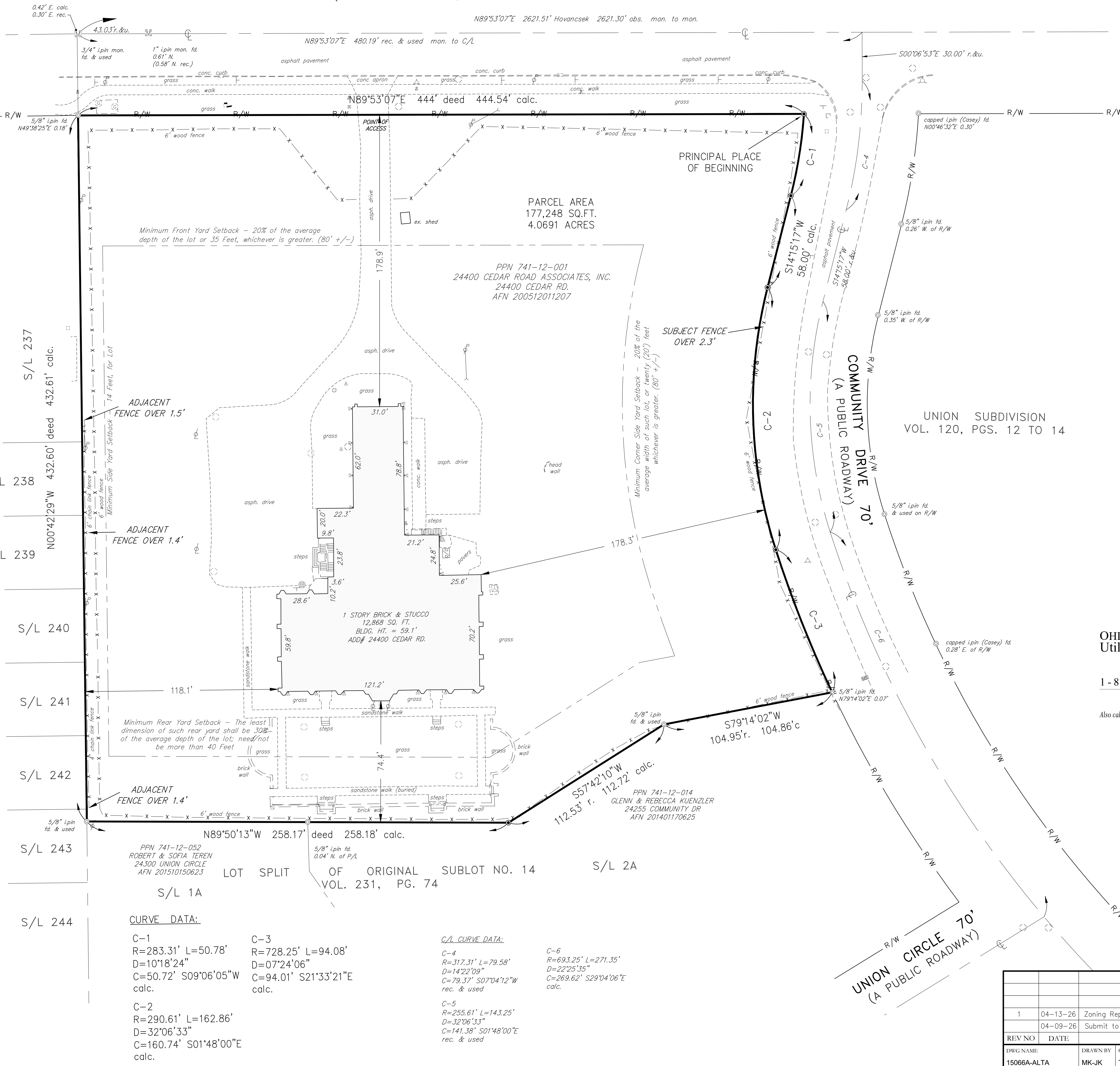
S/L 240

S/L 241

S/L 242

S/L 243

S/L 244



LOT SPLIT OF ORIGINAL SUBLOT NO. 14  
VOL. 231, PG. 74

S/L 1A  
S/L 2A

**CURVE DATA:**

C-1  
R=283.31' L=50.78'  
D=10'18'24"  
C=50.72' S09°06'05"W  
calc.

C-2  
R=290.61' L=162.86'  
D=32°06'33"  
C=160.74' S01°48'00"E  
calc.

C-3  
R=728.25' L=94.08'  
D=07°24'06"  
C=94.01' S21°33'21"E  
calc.

**C/L CURVE DATA:**

C-4  
R=317.31' L=79.58'  
D=14°22'09"  
C=79.37' S07°04'12"W  
rec. & used

C-5  
R=255.61' L=143.25'  
D=32°06'33"  
C=141.38' S01°48'00"E  
rec. & used

C-6  
R=693.25' L=271.35'  
D=22°25'35"  
C=269.62' S29°04'06"E  
calc.

**OHIO Utilities Protection SERVICE**  
Call Before You Dig  
1-800-362-2764  
B507200549

Also call: OGPUPS @ 1-800-925-0988  
(Ohio Oil & Gas Underground Protection Service)

-- or dial 8-1-1 --

| REV NO      | DATE     | DESCRIPTION         |        |
|-------------|----------|---------------------|--------|
| 1           | 04-13-26 | Zoning Report added |        |
|             | 04-09-26 | Submit to client    |        |
| DWG NAME    | DRAWN BY | CHKD BY             | JOB NO |
| 15066A-ALTA | MK-JK    | TEW                 | 15066A |

THE HANGAR - 24400 CEDAR ROAD  
ALTA/NSPS LAND TITLE SURVEY  
CITY OF BEACHWOOD, COUNTY OF CUYAHOGA, STATE OF OHIO

**NEFF & ASSOCIATES**  
Civil Engineers & Surveyors  
6615 N. Kirtland Avenue, Beachwood, OH 44106  
Tel: 440.884.5100 Fax: 440.884.3104  
www.neff-associates.com

SHEET NO.  
2 OF 2

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: May 11, 2026

RE: **P&Z 2025-32**      **Neff & Associates**  
   **The Hanger Club**  
   **24400 Cedar Road**  
   **Lot Split Plat**

This request is for approval of a lot split plat to divide existing PP No. 741-12-001 into three (3) parcels. The subject site is zoned U-1 A-1 Single-Family Residential District. If split, Parcel A would contain 41,833 square feet and would have 168 feet of frontage on Cedar Road. Parcel B would contain approximately 1.45 acres and would have 30 feet of frontage on Cedar Road. Parcel C would contain 1.66 acres and would have extensive frontage on both Cedar Road and Community Drive. Parcels A and C meet the area and lot width requirements for lots in the U-1 A-1 District. Parcel B meets the area requirement and will comply with the 100 feet average lot width requirement set forth in Section 1143.02.

The intent of the split is to place the existing Hanger Club facility on a separate parcel from the remainder of the site to be operated by a non-profit entity. The Hanger Club is an existing nonconforming use in the U-1 District. Based on the proposed configuration of the split, the Hanger Club building would comply with the minimum side yard setbacks for principal buildings in the U-1 District. No variances are required for the approval of this lot split as reconfigured; however, it is recommended that the minimum front building setback for Parcel B be established at 120 feet from the right-of-way line of Cedar Road in order to insure a lot width of 100 feet at the building setback line

The Commission has final authority to approve the lot split as configured. Should the Commission decide to approval of the lot split, it should be subject to the following stipulation:

1. That the plat be revised to include a minimum building setback line on Parcel B located 120 feet from the right-of-way line of Cedar Road.

## MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 28, 2026

Report Date: May 14, 2026

To: Traci Gallagher  
From: Joseph R. Ciuni P.E. P.S.  
City Engineer

### AGENDA ITEM - 5

**P & Z 2025 -32**

**Allayne Stephens has requested approval of a revised lot split plat to divide the existing PPN 741-12-001 into 3 parcels, for 24400 Cedar Road, The Hangar Club.**

We have reviewed this application, and the Lot Split meets all City and County Standards and we hereby recommend it for approval.

This is revision returns to the original proposal of dividing the property into 3 lots.

Fire Prevention Bureau

## **P&Z Report**

**To:** Planning and Zoning Commission  
**From:** Matthew Domonkos, Assistant Chief  
**Date:** 05/07/2026  
**Re:** P&Z # 2025-32 24400 Cedar Rd. (Lot Split)

---

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

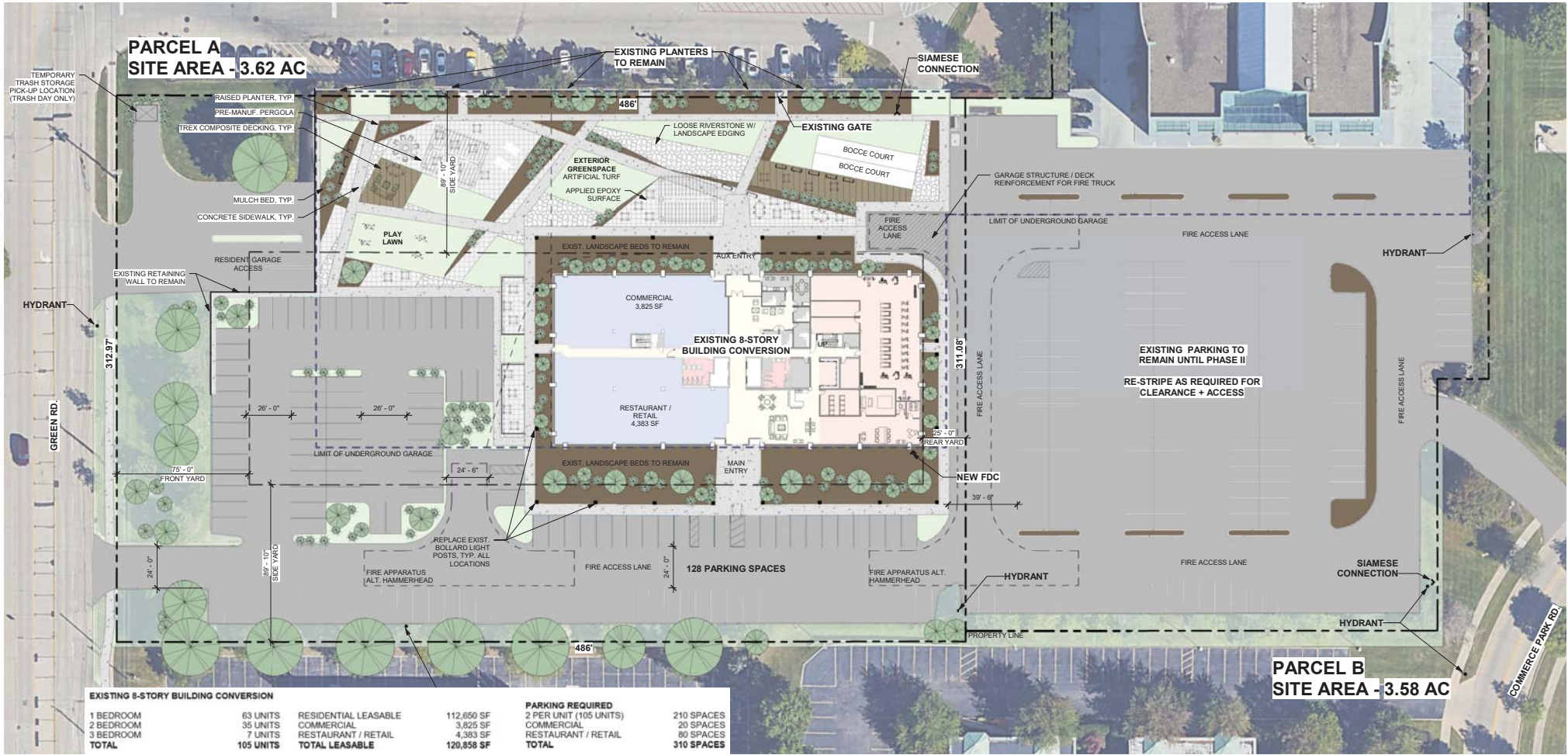
*Matthew Domonkos*

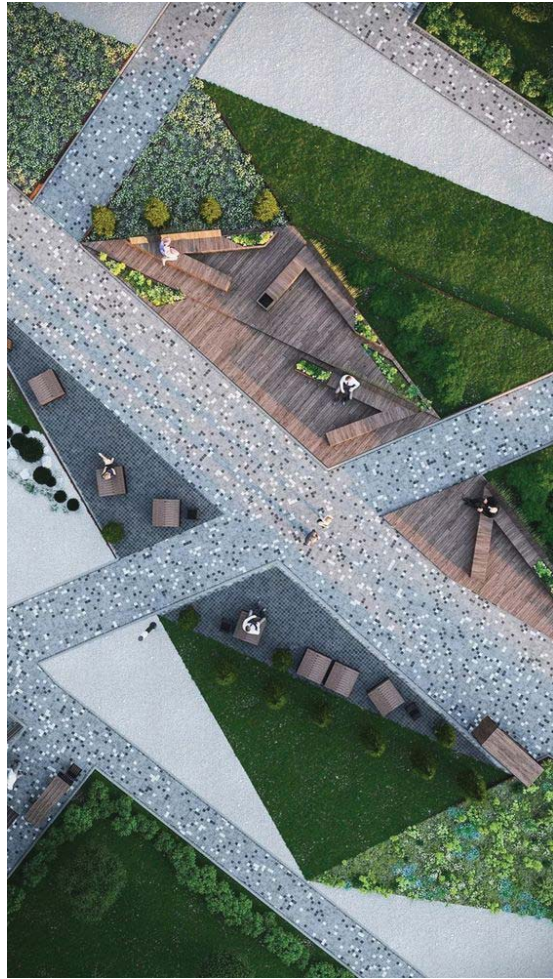
Matthew Domonkos  
Assistant Fire Chief



Google Earth  
Image © 2028 Airbus

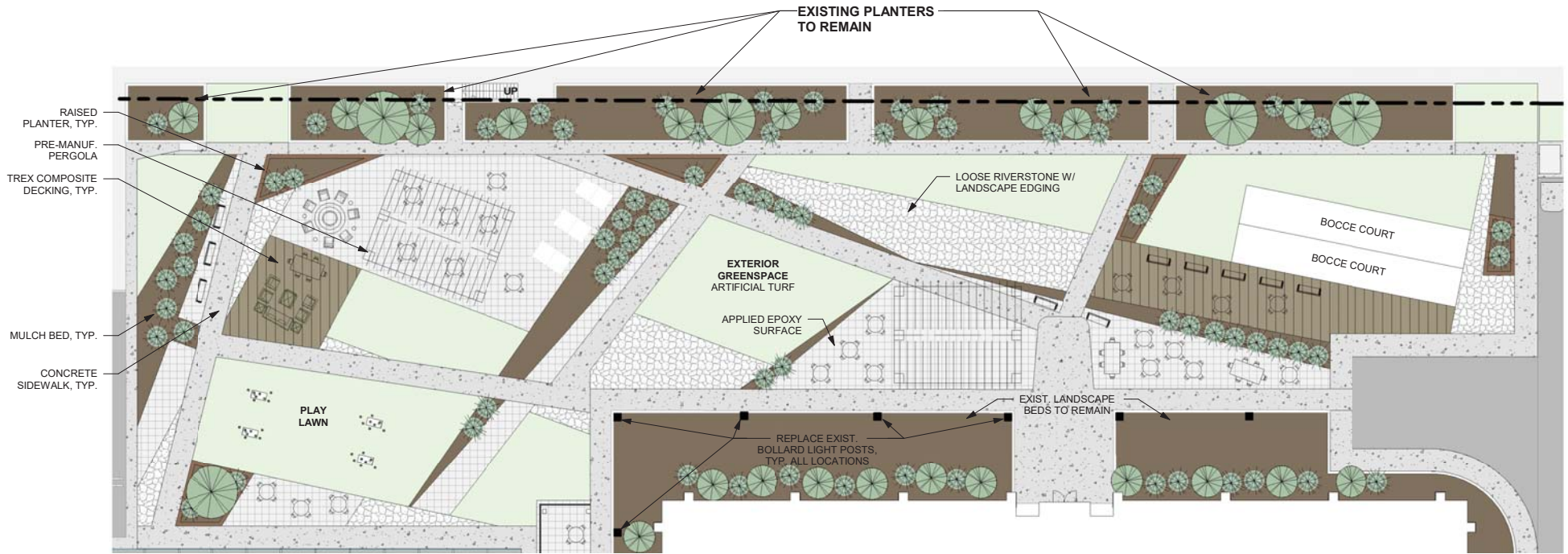






**ARCHITECTURAL DETAILS**

COMMERCE IV  
BEACHWOOD, OHIO



POURED CONCRETE WALKWAY



SYNLAWN ARTIFICIAL TURF



TREX COMPOSITE DECKING



APPLIED EPOXY SURFACE



LOOSE RIVERSTONE W/ LANDSCAPE EDGING



MULCH BED W/ LANDSCAPE EDGING



**SITE MATERIALS**

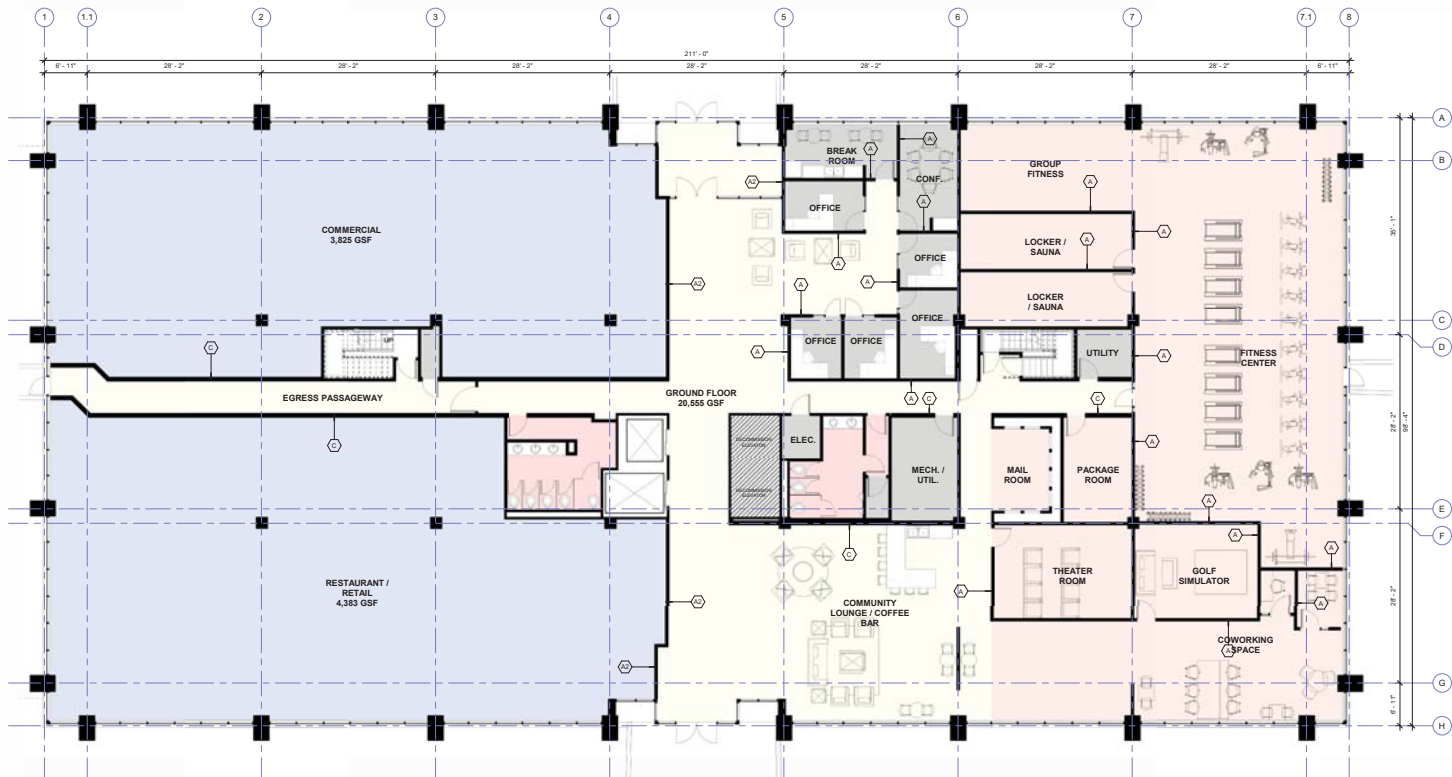
COMMERCE IV  
BEACHWOOD, OHIO



*CONCEPTUAL RENDER - SW CORNER*



**CONCEPTUAL RENDER - NE CORNER**



**TOTAL BUILDING UNIT MATRIX**

|                        |            |              |
|------------------------|------------|--------------|
| 1 BEDROOM              | 21         | 20%          |
| 1 BEDROOM W/ DEN       | 42         | 40%          |
| <b>1 BEDROOM TOTAL</b> | <b>63</b>  | <b>60%</b>   |
| 2 BEDROOM              | 28         | 27%          |
| 2 BEDROOM W/ DEN       | 7          | 6.5%         |
| <b>2 BEDROOM TOTAL</b> | <b>35</b>  | <b>33.5%</b> |
| 3 BEDROOM TOTAL        | 7          | 6.5%         |
| <b>TOTAL</b>           | <b>105</b> | <b>100%</b>  |

**RESIDENTIAL LEASABLE**

|                       |                   |
|-----------------------|-------------------|
| COMMERCIAL            | 3,825 SF          |
| RESTAURANT / RETAIL   | 4,383 SF          |
| <b>TOTAL LEASABLE</b> | <b>120,858 SF</b> |

**TOTAL GROSS SQUARE FOOTAGE (EXCLUDING GARAGE)**

112,650 SF

**1 PLAN - GROUND FLOOR**  
1/8" = 1'-0"



**GROUND FLOOR PLAN**

COMMERCE IV  
BEACHWOOD, OHIO



TYPICAL FLOORS 2-8 UNIT MATRIX

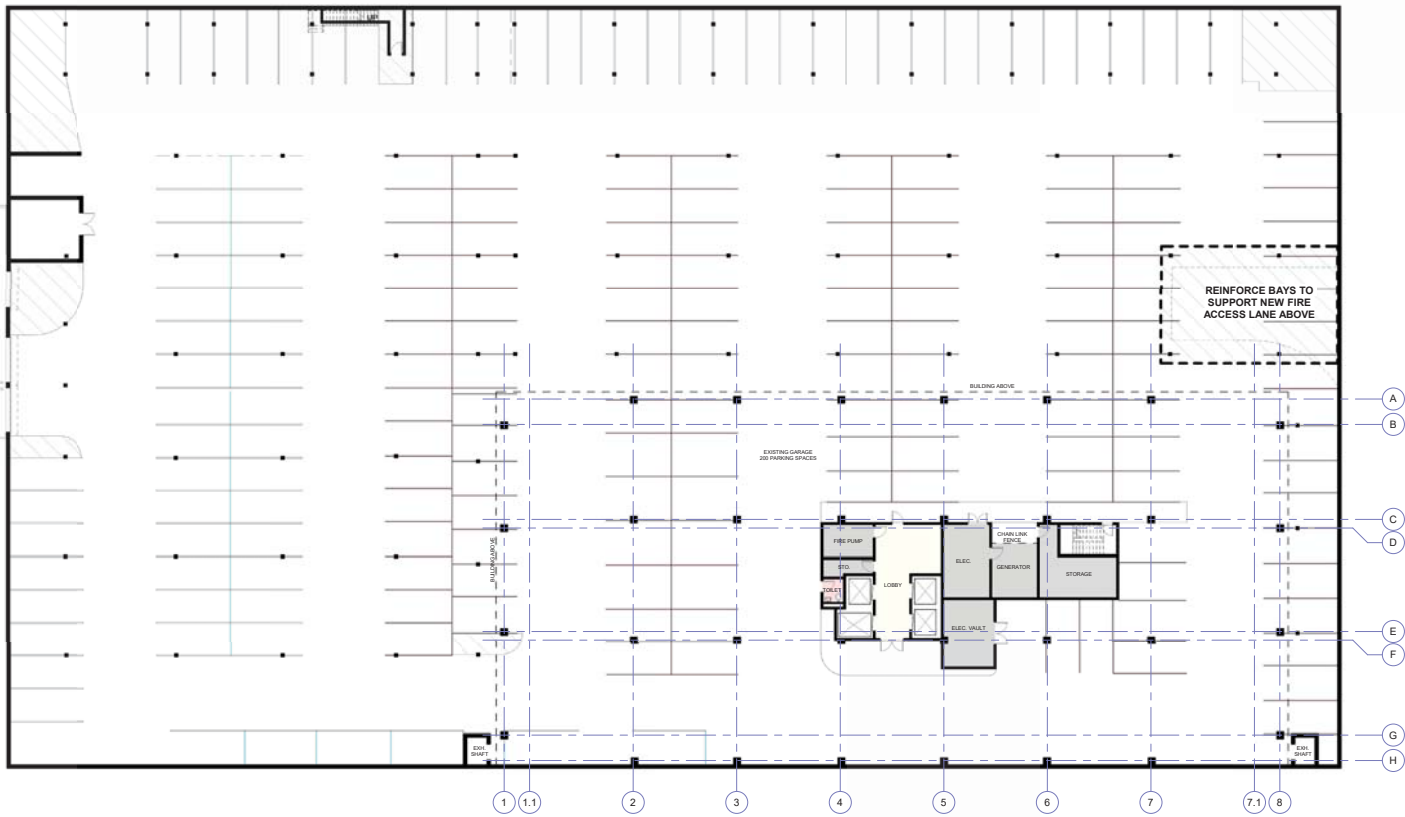
|                  |    |      |
|------------------|----|------|
| STUDIO           | 1  | 7%   |
| 1 BEDROOM        | 2  | 13%  |
| 1 BEDROOM W/ DEN | 6  | 40%  |
| 1 BEDROOM TOTAL  | 9  | 60%  |
| 2 BEDROOM        | 3  | 20%  |
| 2 BEDROOM W/ DEN | 2  | 13%  |
| 2 BEDROOM TOTAL  | 5  | 33%  |
| 3 BEDROOM TOTAL  | 1  | 7%   |
| TOTAL            | 15 | 100% |

1 PLAN - TYPICAL FLOOR  
1/8" = 1'-0"



**TYPICAL FLOOR PLAN**

COMMERCE IV  
BEACHWOOD, OHIO



# 23240 CHAGRIN BOULEVARD ALTA/NSPS LAND TITLE SURVEY

BEING A PORTION OF ORIGINAL PARCEL NO. 1 OF THE COMMERCE PARK DEVELOPMENT AS RECORDED IN VOLUME 185, PAGE 73, 74, AND 75 OF THE CUYAHOGA COUNTY RECORDS, FURTHER KNOWN AS PART OF ORIGINAL WARRENSVILLE TOWNSHIP LOT NO. 58 NOW IN THE CITY OF BEACHWOOD, COUNTY OF CUYAHOGA, STATE OF OHIO



### SCHEDULE B SECTION II EXCEPTIONS -

PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. NCS-117801-SNAT, WITH AN EFFECTIVE DATE OF MAY 13, 2022.

(ITEMS 1 THROUGH 10 NOT SURVEY RELATED ITEMS)

11. SLOPE RIGHTS AND RELEASE OF CLAIMS SET FORTH IN THE DEED FROM WILLIAM H. FREDRIX AND ADELINE F. FREDRIX TO THE BOARD OF COUNTY COMMISSIONERS OF CUYAHOGA COUNTY, OHIO RECORDED FEBRUARY 23, 1960 IN/AS VOLUME 8904, PAGE 105 OF CUYAHOGA COUNTY RECORDS. (DESCRIPTION COVERS A SECTION OF GREEN ROAD OFF-SITE NORTH OF THE SUBJECT PARCELS AT THE INTERSECTION OF KOSMAN ROAD, SLOPE RIGHTS ALONG SUBJECT PARCEL NO. 1 AS SHOWN HEREON. HEADWALL AND DRAINAGE EASEMENT OFF-SITE NORTH OF THE SUBJECT PARCELS) (AFFECTS PARCEL NO. 3)
12. SLOPE RIGHTS AND RELEASE OF CLAIMS SET FORTH IN THE DEED FROM WILLIAM KENNETH BROW TO THE BOARD OF COUNTY COMMISSIONERS OF CUYAHOGA COUNTY, OHIO RECORDED DECEMBER 13, 1961 IN/AS VOLUME 10330, PAGE 238 OF CUYAHOGA COUNTY RECORDS. (PARCEL NOT WITHIN EXISTING RIGHT OF WAY, SHOWN HEREON, PARCEL NO. 1, SLOPE EASEMENT AREA SHOWN HEREON, PARCEL AND B OFF-SITE SOUTH OF THE SUBJECT PARCELS, PARCEL NO. 2, COVERING PARCEL NO. 2 SOUTH OF THE SUBJECT PARCEL, NOT SHOWN HEREON, PARCEL N.D.O. OFF-SITE SOUTH OF THE SUBJECT PARCEL NOT SHOWN HEREON.) (AFFECTS PARCEL NOS. 1 AND 3)
13. GRANT OF EASEMENT FOR CONSTRUCTING, MAINTAINING, OPERATING AND REPAIRING A STORM SEWER BY AND BETWEEN WILLIAM K. BROW AND THE CITY OF BEACHWOOD, FILED FOR RECORD APRIL 4, 1963 IN VOLUME 10684, PAGE 897 OF THE CUYAHOGA COUNTY RECORDS. (PARCEL DESCRIPTION DESCRIBES A PORTION OF THE SUBJECT PARCEL AS SHOWN, RESTRICTION AREA SHOWN HEREON.) (AFFECTS PARCEL NOS. 1 AND 3)
14. COVENANTS AND RESTRICTIONS SET FORTH IN THE DEED FROM THE YOUNG OFFICE CENTER COMPANY TO KENNETH YOUNG AND ROBERT C. COPLAN, EXECUTOR OF THE ESTATE OF HOWARD S. YOUNG RECORDED DECEMBER 30, 1970 IN/AS VOLUME 12764, PAGE 411 OF CUYAHOGA COUNTY RECORDS. (PARCEL DESCRIPTION DESCRIBES A PORTION OF THE SUBJECT PARCEL AS SHOWN, RESTRICTION AREA SHOWN HEREON.) (AFFECTS PARCEL NOS. 1 AND 2)
15. AGREEMENT BY AND BETWEEN KENNETH YOUNG AND THE ESTATE OF HOWARD YOUNG AND ROBERT C. COPLAN, EXECUTOR OF THE ESTATE OF HOWARD YOUNG RECORDED FEBRUARY 1, 1971 IN/AS VOLUME 12771, PAGE 107 OF CUYAHOGA COUNTY RECORDS. (EASEMENT IN NATURE, DOCUMENT DESCRIBES MULTIPLE PARCELS WHICH NOW REPRESENT THE NORTHERLY ADJOINING PARCEL, STORM SEWER EASEMENT ADJOINS AND CROSSES INTO THE SUBJECT PARCEL AS SHOWN) (AFFECTS PARCEL NO. 3)
16. EASEMENT FROM THREE COMMERCE PARK SQUARE, CO. TO KENNETH YOUNG AND ROBERT C. COPLAN, EXECUTOR OF THE ESTATE OF HOWARD YOUNG RECORDED FEBRUARY 21, 1971 IN/AS VOLUME 12954, PAGE 183 OF CUYAHOGA COUNTY RECORDS. (PROPERTY DESCRIPTION DESCRIBES A PORTION OF THE NORTHERLY ADJOINING PARCEL, EASEMENT AREA FALLS OFF-SITE, NORTH OF THE SUBJECT PARCEL WITHIN NORTHERLY ADJOINING PARCEL) (AFFECTS PARCEL NO. 3)
17. RESERVATIONS, RESTRICTIONS, COVENANTS, LIMITATIONS, EASEMENTS AND/OR OTHER CONDITIONS AS SET FORTH ON DEDICATED MAP OF GREEN ROAD ALTERATION-MODERN AND IMPROVEMENT, FILED FOR RECORD MARCH 8, 1980 IN VOLUME 178 OF MAPS, PAGE 16 OF THE CUYAHOGA COUNTY RECORDS. (DOCUMENT SHOWS A PORTION OF GREEN ROAD, OFF-SITE NORTH OF THE SUBJECT PARCEL NOT SHOWN HEREON.) (AFFECTS PARCEL NOS. 1 AND 3)
18. RECIPROCAL EASEMENT AGREEMENT BY AND AMONG FOUR C.P.S. COMPANY, LTD., AN OHIO LIMITED PARTNERSHIP, THREE COMMERCE PARK SQUARE CO., AN OHIO LIMITED PARTNERSHIP, AND YOUNG OFFICE CENTER COMPANY, AN OHIO JOINT VENTURE, FILED FOR RECORD IN JUNE 23, 1980 IN/AS VOLUME 18467, PAGE 543 OF THE CUYAHOGA COUNTY RECORDS. (EASEMENT PARKING UTILITY AND SIDEWALK EASEMENTS, EXHIBIT A SHOWS PROPOSED IMPROVEMENTS ON THE SUBJECT PARCEL AND ADJOINING PARCEL TO THE NORTH, PROPOSED ACCESS EASEMENTS AND STORM EASEMENTS OFF-SITE NORTH OF THE SUBJECT PARCEL, ABOVE GROUND-GARAGE UNDER AREA SHOWN HEREON. EXHIBIT B DESCRIBES THE ADJOINING PARCEL TO THE NORTH AND SUBJECT PARCELS 1 & 2. EXHIBIT C PERMISSIBLE BUILDING AREA SHOWN HEREON.) (AFFECTS PARCEL NOS. 1 AND 3)
19. RESERVATIONS, RESTRICTIONS, COVENANTS, LIMITATIONS, EASEMENTS AND/OR OTHER CONDITIONS AS SET FORTH ON DEDICATED MAP OF GREEN ROAD IMPROVEMENT, FILED FOR RECORD NOVEMBER 30, 1994 IN VOLUME 270 OF MAPS, PAGE 51, OF CUYAHOGA COUNTY RECORDS. (SHOWS PROPOSED IMPROVEMENTS FOR GREEN ROAD NORTH OF THE SUBJECT PARCEL.) (AFFECTS PARCEL NO. 3)
20. MEMORANDUM OF LEASE BY AND BETWEEN CHAGRIN-GREEN LLC, A LIMITED LIABILITY COMPANY (LANDLORD), AND T-MOBILE CENTRAL LLC, A DELAWARE LIMITED LIABILITY COMPANY (TENANT), FILED FOR RECORD JUNE 14, 2007 IN/AS VOLUME 200706140680, OF THE CUYAHOGA COUNTY RECORDS. (EXHIBIT A DESCRIBES THE SUBJECT PARCELS)
- LEASE ASSIGNMENT AGREEMENT BY AND BETWEEN COMMERCE PARK IV & V ASSOCIATES LLC, AN OHIO LIMITED LIABILITY COMPANY, AND COMMERCE PARK LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND MDT CAPITAL ONE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FILED FOR RECORD JULY 30, 2009 IN/AS VOLUME 200907300285, AND RE-FILED FOR RECORD OCTOBER 1, 2009 IN/AS VOLUME 200910010423, OF THE CUYAHOGA COUNTY RECORDS. (EXHIBIT A DESCRIBES THE SUBJECT PARCELS)
- MEMORANDUM OF SITE LEASE AMENDMENT BY AND BETWEEN MDT CAPITAL ONE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND T-MOBILE CENTRAL LLC, A DELAWARE LIMITED LIABILITY COMPANY, FILED FOR RECORD JULY 30, 2009 IN/AS VOLUME 200907300285, AND RE-FILED FOR RECORD OCTOBER 1, 2009 IN/AS VOLUME 200910010424, OF THE CUYAHOGA COUNTY RECORDS.
- PARTIAL RELEASE OF MEMORANDUM OF LEASE OF PROPERTY LEASE UNDER ROOFTOP LEASE RECORDED OCTOBER 26, 2009 IN/AS INSTRUMENT NO. 200910260042 OF CUYAHOGA COUNTY RECORDS.
- DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASEHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS ARE NOT SHOWN HEREON.
21. NOW DRILLING OIL AND GAS LEASE FROM COMMERCE PARK IV & V ASSOCIATES LLC AND U COMMERCE PARK LLC, LESSOR, TO DUICK OREK ENERGY, INC., LESSEE, FILED FOR RECORD JULY 21, 2008 IN/AS INSTRUMENT NO. 200807210224 OF CUYAHOGA COUNTY RECORDS. (NOT A SURVEY RELATED ITEM)
- CONSOLIDATION OF OIL AND GAS LEASES FILED FOR RECORD JULY 17, 2009 IN/AS VOLUME 200907170404, OF THE CUYAHOGA COUNTY RECORDS.
- ASSIGNMENT OF WORKING INTEREST RECORDED OCTOBER 08, 2009 IN/AS INSTRUMENT NO. 200910080443 OF CUYAHOGA COUNTY RECORDS.
81. ASSIGNMENT AND BILL OF SALE RECORDED APRIL 09, 2019 IN/AS INSTRUMENT NO. 201904090038 OF CUYAHOGA COUNTY RECORDS.
- ASSIGNMENT OF WORKING INTEREST RECORDED OCTOBER 08, 2009 IN/AS INSTRUMENT NO. 200910080444 OF CUYAHOGA COUNTY RECORDS.
82. ASSIGNMENT AND BILL OF SALE RECORDED APRIL 09, 2019 IN/AS INSTRUMENT NO. 201904090035 OF CUYAHOGA COUNTY RECORDS.
- ASSIGNMENT OF WORKING INTEREST RECORDED OCTOBER 08, 2009 IN/AS INSTRUMENT NO. 200910080445 OF CUYAHOGA COUNTY RECORDS.
- DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASEHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS ARE NOT SHOWN HEREON.

22. GAS PIPELINE EASEMENT GRANT FROM COMMERCE PARK IV & V ASSOCIATES LLC TO THE EAST OHIO GAS COMPANY, D/B/A DOMINION EAST OHIO RECORDED OCTOBER 22, 2009 IN/AS INSTRUMENT NO. 200910220428 OF CUYAHOGA COUNTY RECORDS. (LOCATED ON THE SUBJECT PARCEL, SHOWN HEREON)
23. SENIOR EASEMENT AGREEMENT BY AND BETWEEN D & D CHAGRIN, LLC, AN OHIO LIMITED LIABILITY COMPANY, COMMERCE PARK IV & V ASSOCIATES LLC, AN OHIO LIMITED LIABILITY COMPANY, AND U COMMERCE PARK LLC, A DELAWARE LIMITED LIABILITY COMPANY, COMMERCE PARK PLACE HOLDINGS LLC, AN OHIO LIMITED LIABILITY COMPANY, AND THE CITY OF BEACHWOOD, A MUNICIPAL CORPORATION, FILED FOR RECORD NOVEMBER 9, 2012 IN/AS INSTRUMENT NO. 201211090204, OF THE CUYAHOGA COUNTY RECORDS. (LOCATED ON THE SUBJECT PARCEL AND SHOWN HEREON)
24. MORTGAGE FROM COMMERCE PARK IV & V ASSOCIATES LLC, AS TO AN UNDIVIDED 58.703% INTEREST, AND UCOMMERCE PARK LLC, AS TO AN UNDIVIDED 41.297% INTEREST TO THE ROYAL BANK OF SCOTLAND PLC, TO SECURE \$150,000.00, FILED FOR RECORD FEBRUARY 24, 2012 IN/AS INSTRUMENT NO. 201202240227 OF CUYAHOGA COUNTY RECORDS, COVERING PREMISES DESCRIBED IN SCHEDULE A, TOGETHER WITH ANY AND ALL TERMS, CONDITIONS AND RESTRICTIONS CONTAINED THEREIN. (EXHIBIT A DESCRIBES THE SUBJECT PARCELS AND PRIOR RECORDED DOCUMENTS)
- ASSIGNED TO DEUTSCHE BANK TRUST COMPANY AMERICAS, IN ITS CAPACITY AS TRUSTEE FOR THE REGISTERED HOLDERS OF WELLS FARGO COMMERCIAL MORTGAGE SECURITIES, INC., COMMERCIAL MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2012-06 BY INSTRUMENT RECORDED NOVEMBER 16, 2012 IN/AS INSTRUMENT NO. 201211160091 OF CUYAHOGA COUNTY RECORDS.
- ASSIGNED TO RSS WFRS2012-06 - OH CP, LLC, AN OHIO LIMITED LIABILITY COMPANY BY INSTRUMENT RECORDED OCTOBER 16, 2020 IN/AS INSTRUMENT NO. 202010160023 OF CUYAHOGA COUNTY RECORDS.
- SELLER TO SATISFY UPON CLOSING AND WILL NOT APPEAR ON ANY TITLE POLICY.
25. ASSIGNMENT OF RENTS AND LEASES FROM COMMERCE PARK IV & V ASSOCIATES LLC, AS TO AN UNDIVIDED 58.703% INTEREST, AND U COMMERCE PARK LLC, AS TO AN UNDIVIDED 41.297% INTEREST TO THE ROYAL BANK OF SCOTLAND PLC, FILED FOR RECORD FEBRUARY 24, 2012 IN/AS INSTRUMENT NO. 201202240228 OF CUYAHOGA COUNTY RECORDS. (EXHIBIT A DESCRIBES THE SUBJECT PARCEL AND PRIOR RECORDED DOCUMENTS)
- ASSIGNED TO DEUTSCHE BANK TRUST COMPANY AMERICAS, IN ITS CAPACITY AS TRUSTEE FOR THE REGISTERED HOLDERS OF WELLS FARGO COMMERCIAL MORTGAGE SECURITIES, INC., COMMERCIAL MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2012-06 BY INSTRUMENT RECORDED NOVEMBER 16, 2012 IN/AS INSTRUMENT NO. 201211160091 OF CUYAHOGA COUNTY RECORDS.
- ASSIGNED TO RSS WFRS2012-06 - OH CP, LLC, AN OHIO LIMITED LIABILITY COMPANY BY INSTRUMENT RECORDED OCTOBER 16, 2020 IN/AS INSTRUMENT NO. 202010160024 OF CUYAHOGA COUNTY RECORDS.
- SELLER TO SATISFY UPON CLOSING AND WILL NOT APPEAR ON ANY TITLE POLICY.
26. FINANCING STATEMENT FROM COMMERCE PARK IV & V ASSOCIATES LLC AND U COMMERCE PARK LLC, DEBTOR, IN FAVOR OF THE ROYAL BANK OF SCOTLAND PLC, SECURED PARTY, RECORDED FEBRUARY 24, 2012 IN/AS INSTRUMENT NO. 201202240229 OF CUYAHOGA COUNTY RECORDS. (NOT A SURVEY RELATED ITEM)
- ASSIGNED TO DEUTSCHE BANK TRUST COMPANY AMERICAS, IN ITS CAPACITY AS TRUSTEE FOR THE REGISTERED HOLDERS OF WELLS FARGO COMMERCIAL MORTGAGE SECURITIES, INC., COMMERCIAL MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2012-06 BY INSTRUMENT RECORDED NOVEMBER 16, 2012 IN/AS INSTRUMENT NO. 201211160092 OF CUYAHOGA COUNTY RECORDS.
- CONTINUATION, RECORDED AUGUST 28, 2016 IN/AS INSTRUMENT NO. 201608280004 OF CUYAHOGA COUNTY RECORDS.
- ASSIGNED TO RSS WFRS2012-06 - OH CP, LLC BY INSTRUMENT RECORDED OCTOBER 16, 2020 IN/AS INSTRUMENT NO. 202010160025 OF CUYAHOGA COUNTY RECORDS.
27. MEMORANDUM OF AGREEMENT BY AND BETWEEN COMMERCE PARK IV & V ASSOCIATES LLC, AN OHIO LIMITED LIABILITY COMPANY AND U COMMERCE PARK LLC, A DELAWARE LIMITED LIABILITY COMPANY, SUCCESSOR IN INTEREST TO CHAGRIN GREEN, LLC AND NEW CHAGRIN BRIDGES POS, LLC, A DELAWARE LIMITED LIABILITY COMPANY RECORDED MAY 22, 2015 IN/AS INSTRUMENT NO. 201505220102 OF CUYAHOGA COUNTY RECORDS. (EXHIBIT A DESCRIBES THE SUBJECT PARCELS AND PRIOR RECORDED DOCUMENTS)
- THIS ITEM HAS BEEN INTENTIONALLY DELETED.
28. NOT A SURVEY RELATED ITEM

### LEGAL DESCRIPTION -

PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. NCS-117801-SNAT, WITH AN EFFECTIVE DATE OF MAY 13, 2022.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF CUYAHOGA, STATE OF OHIO, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1:  
SITUATED IN THE CITY OF BEACHWOOD, COUNTY OF CUYAHOGA AND STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL PARCEL NO. 1 OF THE COMMERCE PARK DEVELOPMENT AS RECORDED IN VOLUME 185, PAGES 73, 74 AND 75 OF CUYAHOGA COUNTY RECORDS, FURTHER KNOWN AS PART OF ORIGINAL WARRENSVILLE TOWNSHIP LOT NO. 58, BOUNDARY AND DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWESTERLY CORNER OF SAID PARCEL NO. 1, WHICH POINT IS IN THE EASTERLY SIDE LINE OF GREEN ROAD, 80 FEET; THENCE NORTH 89° 58' 52" EAST ALONG A NORTHERLY LINE OF SAID PARCEL NO. 1, 496.00 FEET TO A POINT; THENCE SOUTH 0° 14' 28" EAST 351.08 FEET TO A POINT;  
THENCE SOUTH 89° 58' 52" WEST 496.00 FEET TO THE AFORESAID EASTERLY SIDE LINE OF GREEN ROAD, 80 FEET WIDE; THENCE NORTH 0° 14' 28" WEST ALONG SAID EASTERLY SIDE LINE OF GREEN ROAD, 313 FEET TO THE PLACE OF BEGINNING.  
PARCEL NO. 2:  
SITUATED IN THE CITY OF BEACHWOOD, COUNTY OF CUYAHOGA AND STATE OF OHIO, AND KNOWN AS BEING PART OF PARCEL NO. 1 OF THE COMMERCE PARK DEVELOPMENT AS RECORDED IN VOLUME 185 OF MAPS, PAGES 73, 74 AND 75 OF CUYAHOGA COUNTY RECORDS, AND FURTHER KNOWN AS PART OF ORIGINAL WARRENSVILLE TOWNSHIP LOT NO. 58, AND BOUNDARY AND DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWESTERLY CORNER OF SAID PARCEL NO. 1, WHICH POINT IS IN THE EASTERLY SIDE LINE OF GREEN ROAD, 80 FEET WIDE;  
THENCE NORTH 89° 58' 52" EAST ALONG A NORTHERLY LINE OF SAID PARCEL NO. 1, 496 FEET TO THE PRINCIPAL PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED;  
COURSE 1: THENCE CONTINUING NORTH 89° 58' 52" EAST, 49.37 FEET TO A POINT;  
COURSE 2: THENCE NORTH 0° 14' 28' WEST, 267 FEET TO A POINT;  
COURSE 3: THENCE NORTH 89° 58' 52" EAST, 250.28 FEET TO A POINT;  
COURSE 4: THENCE SOUTH 0° 14' 28" EAST, 427 FEET TO A POINT ON THE NORTHERLY SIDE OF COMMERCE PARK ROAD, 60 FEET WIDE;  
COURSE 5: THENCE SOUTH 89° 58' 52" WEST ALONG THE NORTHERLY SIDE LINE OF COMMERCE PARK ROAD 30 FEET TO AN ANGLE POINT THEREIN;  
COURSE 6: THENCE SOUTH 0° 14' 28" EAST ALONG A WESTERLY SIDE LINE OF COMMERCE PARK ROAD, 144.04 FEET TO A POINT; COURSE 7: THENCE SOUTH 89° 58' 52" WEST, 268.24 FEET TO A POINT;  
COURSE 8: THENCE NORTH 0° 14' 28" WEST, 305.08 FEET TO THE PRINCIPAL PLACE OF BEGINNING.  
PARCEL NO. 3:  
APURTENNANT EASEMENT RIGHTS AS CONTAINED IN A RECIPROCAL EASEMENT AGREEMENT BY AND AMONG FOUR C.P.S. COMPANY, LTD., THREE COMMERCE PARK SQUARE COMPANY AND YOUNG OFFICE CENTER AND DRIVENWAYS, PARKING AND UTILITY PURPOSES, DATED MAY 12, 1982 AND 23, 1982 IN VOLUME 184 AND CUYAHOGA COUNTY RECORDS AND RAFTED IN A RATIFICATION OF RECIPROCAL EASEMENT AGREEMENT DATED MAY 12, 1982 AND FILED FOR RECORD ON MAY 2, 1985 IN VOLUME 85-1873, PAGE 46 OF CUYAHOGA COUNTY RECORDS.

APR: 742-23-002, 742-23-013 AND 742-23-010

### UTILITY INFORMATION

GPS DESIGN TICKET NO. 0214550327-208

### BASE OF BEARINGS

MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS OBSERVATIONS IN MAY, 2022.

### PARKING (ABOVE GRADE ONLY)

SUBJECT PARCELS:  
257 PARKING SPACES  
8 - HANDICAPPED PARKING SPACES  
2024 PARKING SPACES

### FLOOD CERTIFICATION

AS PER THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) MAPS TITLED "CUYAHOGA COUNTY, OHIO INCORPORATED AREAS, PANELS 208 OF 374" (MAP NUMBER 33033C0006) WITH AN EFFECTIVE DATE OF DECEMBER 3, 2010, THE SUBJECT PARCELS ARE LOCATED IN ZONE 1 (UNSHADDED) AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN. NO FIELD SURVEY OF ELEVATIONS WAS PERFORMED TO DETERMINE THIS ZONE AND ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

### ZONING

AS PER A COMMERCIAL DUE DILIGENCE SERVICES REPORT, DATED MAY 16, 2022, THE SUBJECT PARCELS ARE U-7A, GENERAL OFFICE AND NOTES THE BELOW INFORMATION. ALL QUESTIONS OR REQUESTS FOR INFORMATION SHOULD BE DIRECTED TOWARDS THE CITY OF BEACHWOOD.  
MINIMUM FRONT SETBACK: 75 FEET  
MINIMUM SIDE SETBACKS: 10 FEET; 50 FEET WHERE ADJOINING RESIDENTIAL DISTRICT  
MINIMUM REAR SETBACKS: 10 FEET; 50 FEET WHERE ADJOINING RESIDENTIAL DISTRICT  
MINIMUM HEIGHT: 35 FEET  
MINIMUM AREA: 1 ACRE  
MINIMUM LOT WIDTH: 150 FEET  
NO REQUIREMENT NOTED  
MINIMUM FLOOR AREA RATIO: NO REQUIREMENT NOTED  
MINIMUM COVERAGE: 20%  
MINIMUM PARKING: OFFICES (OTHER THAN MEDICAL OFFICES) - 1 SPACE / 250 SQUARE FEET OF GFA; MEDICAL OFFICES - 1 SPACE / 150 SQUARE FEET OF GFA, PROVIDED THE WHEREVER MEDICAL OFFICES CONSTITUTE LESS THAN 25% OF GFA OF BUILDING PARKING SHALL BE PROVIDED AT 1 SPACE / 200 SQUARE FEET OF GFA.

### NOTES

THIS PLAN WAS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-117801-SNAT, WITH AN EFFECTIVE DATE OF MAY 22, 2022.

1. THIS PLAN WAS PREPARED WITH THE RESPECT TO THE FOLLOWING REFERENCES:
  - A. LOT CONSOLIDATION FOR COMMERCE PARK PLACE HOLDINGS, PLAT VOL. 371, PAGE 28
  - B. COMMERCE PARK DEVELOPMENT SUBDIVISION, PLAT VOL. 185, PAGE 73
2. BOUNDARY AND PLANIMETRIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEY AND CONTROLLED UAV FLIGHT BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, THE FIELD WORK COMPLETED DURING THE MONTH OF AUGUST MAY 2022.
3. UNLESS SPECIFICALLY NOTED OTHERWISE, THE SURVEYOR WAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
4. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
5. OURS RESPONSES ALLOW UP TO 14 DAYS FOR DESIGN TICKET INFORMATION IN ORDER TO ADDRESS TABLE A ITEM 11. AN UPDATED SURVEY MAY FOLLOW POST CLOSING WHICH SHOWS RECEIVED INFORMATION FOR LOCATION OF BIAS PROVIDED.
6. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.
7. THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF RECENT EARTH MOVING WORK WHILE CONDUCTING THE FIELDWORK.
8. NO EVIDENCE OF CHANGES TO STREET RIGHT OF WAY LINES WAS OBSERVED WHILE CONDUCTING THE SURVEY OR CONSTRUCTION INDICATED HEREON.
9. NO EVIDENCE OF A FIELD DELINEATION OF WETLANDS WAS OBSERVED WHILE CONDUCTING THE SURVEY FIELDWORK NOR WAS ANY WETLAND DELINEATION FROM A QUALIFIED SPECIALIST PROVIDED.
10. THIS SURVEY DOES NOT INCLUDE THE PHYSICAL LOCATION OF THE UNDERGROUND PARKING GARAGE OR OTHER STRUCTURES BELOW GRADE.

### SURVEYOR'S CERTIFICATION

1. FIRST AMERICAN TITLE INSURANCE COMPANY
2. RSS WFRS2012-06 - OH CP, LLC
3. ASSOCIATION OF BANK NATIONAL ASSOCIATION, A NATIONAL BANKING ASSOCIATION
4. BEACHWOOD OFFICE LLC, A WISCONSIN LIMITED LIABILITY COMPANY
5. SPATIALS HOLDINGS LLC, A WISCONSIN CORPORATION
6. EASTGATE, LLC, A WISCONSIN LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 NATIONAL STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 6(A), 7(A)(1), 7(A)(2), 8, 9, 10, 11, 12, 14, 16, 17, and 18 OF TABLE THEREOF. THE FIELD WORK WAS COMPLETED IN AUGUST, 2022.

ANTHONY L. MAIONE, P.S.  
PROFESSIONAL LAND SURVEYOR.  
OH LIC. NO. 6544

DATE



| Date    | Title Comments | No. |
|---------|----------------|-----|
| 6/03/22 |                | 1   |

**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
6000 Lombard Blvd., Suite 210  
Cleveland, OH 44131  
T: 216.328.3300 F: 216.328.3301 www.langan.com

## 23240 CHAGRIN BOULEVARD

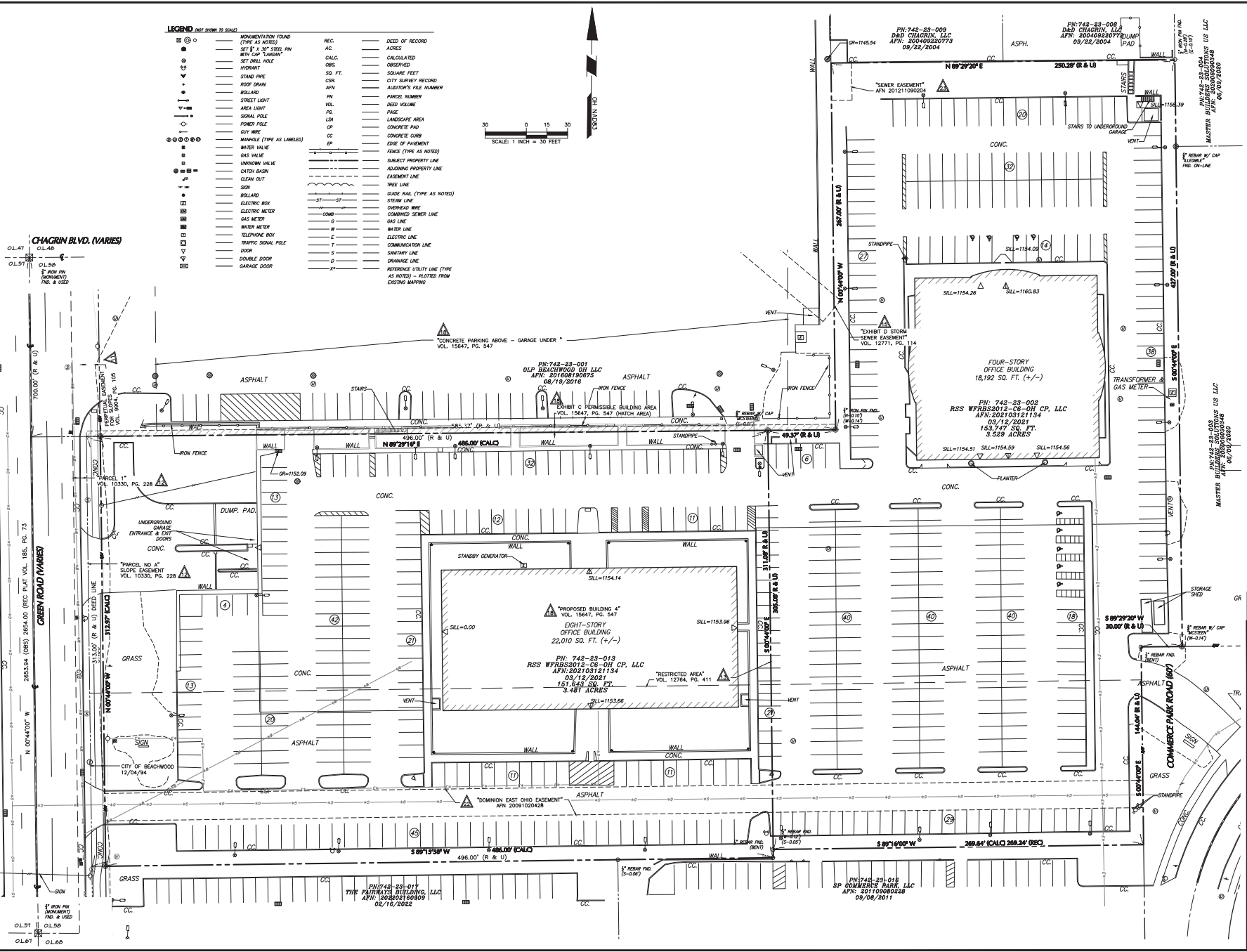
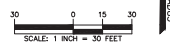
CITY OF BEACHWOOD OHIO

## ALTA/NSPS LAND TITLE SURVEY

|             |            |              |       |
|-------------|------------|--------------|-------|
| Project No. | 400098601  | Drawing No.  | VL101 |
| Date        | 09/16/2022 | Drawn By     | IBC   |
| Checked By  | ALM        | Sheet 1 of 2 |       |

**LEGEND (NOT SHOWN TO SCALE)**

|   |  |                            |   |
|---|--|----------------------------|---|
| ⊙ | MONUMENTATION FOUND (TYPE AS NOTED)      | REC.                       | DEED OF RECORD  |
| ⊙ | 8" x 8" x 30" REED PIN WITH CAP "LANGAN" | AC.                        | ACRES   |
| ⊙ | SET BELL HOLE                            | CALC.                      | CALCULATED  |
| ⊙ | HYDRANT                                  | ONS.                       | OBSERVED  |
| ⊙ | STAND PIPE                               | SG. FT.                    | GROUND FEET   |
| ⊙ | ROOF DRAIN                               | CON.                       | CITY SURVEY RECORD  |
| ⊙ | ROLLAWAY                                 | AFN                        | AUDITOR'S FILE NUMBER   |
| ⊙ | STREET LIGHT                             | PN                         | PARCEL NUMBER   |
| ⊙ | AREA LIGHT                               | VOL.                       | VOLUME  |
| ⊙ | SIGNAL POLE                              | PG.                        | PAGE  |
| ⊙ | POWER POLE                               | LSA                        | LANDSCAPE AREA  |
| ⊙ | GUY WIRE                                 | CP                         | CONCRETE PAD  |
| ⊙ | MANHOLE (TYPE AS LABELED)                | CC                         | CONCRETE CURB   |
| ⊙ | WATER VALVE                              | EP                         | EDGE OF PAVEMENT  |
| ⊙ | GAS VALVE                                | FENCE (TYPE AS NOTED)      | FENCE (TYPE AS NOTED)   |
| ⊙ | UNKNOWN VALVE                            | SUBJECT PROPERTY LINE      | SUBJECT PROPERTY LINE   |
| ⊙ | UNKNOWN BASH                             | ADJOINING PROPERTY LINE    | ADJOINING PROPERTY LINE   |
| ⊙ | CLEAN OUT                                | EASEMENT LINE              | EASEMENT LINE   |
| ⊙ | IRON                                     | TRIE LINE                  | TRIE LINE   |
| ⊙ | WELLD                                    | GUIDE RAIL (TYPE AS NOTED) | GUIDE RAIL (TYPE AS NOTED)  |
| ⊙ | ELECTRIC BOX                             | ST-1                       | STEAM LINE  |
| ⊙ | ELECTRIC METER                           | COMB                       | COMBINED SEWER LINE   |
| ⊙ | GAS METER                                | G                          | GAS LINE  |
| ⊙ | WATER METER                              | W                          | WATER LINE  |
| ⊙ | TELEPHONE BOX                            | E                          | ELECTRIC LINE   |
| ⊙ | TRAFFIC SIGNAL POLE                      | T                          | COMMUNICATION LINE  |
| ⊙ | DOOR                                     | D                          | DOOR  |
| ⊙ | DOUBLE DOOR                              | D                          | DOUBLE DOOR   |
| ⊙ | GARAGE DOOR                              | X                          | REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPING |



|   |         |                |  |     |   |
|---|---------|----------------|--|-----|---|
| Date  | 6/03/22 | Title Comments |  | No. | 1 |
| Description   |         |                |  |     |   |
| <b>LANGAN</b>   |         |                |  |     |   |
| Langan Engineering and Environmental Services, Inc.<br>6000 Lombardi Center, Suite 210<br>Cleveland, OH 44131 |         |                |  |     |   |
| T: 216.328.3300 F: 216.328.3301 www.langan.com  |         |                |  |     |   |
| Project   |         |                |  |     |   |
| <b>23240 CHAGRIN BOULEVARD</b>  |         |                |  |     |   |
| CITY OF BEACHWOOD OHIO  |         |                |  |     |   |
| Drawing Title   |         |                |  |     |   |
| <b>ALTA/NSPS LAND TITLE SURVEY</b>  |         |                |  |     |   |
| Project No.   |         |                |  |     |   |
| 40098601  |         |                |  |     |   |
| Date  |         |                |  |     |   |
| 09/16/2022  |         |                |  |     |   |
| Drawing No.   |         |                |  |     |   |
| VL101   |         |                |  |     |   |
| Drawn By  |         |                |  |     |   |
| IDC   |         |                |  |     |   |
| Checked By  |         |                |  |     |   |
| ALM   |         |                |  |     |   |
| Sheet 1 of 2  |         |                |  |     |   |

# COMMERCE PARK BUILDING IV

## CITY OF BEACHWOOD COUNTY OF CUYAHOGA STATE OF OHIO

**GENERAL NOTES**

- ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE EXISTING CONDITION OR BETTER, WHEN ORDERED BY THE ENGINEER. ALL ITEMS ARE INCLUDED IN THE PAV ITEMS.
- TRUCKS BID PER FOOT FOR ALL PIPE IS COMPLETE IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS.
- THE LOCATIONS OF ALL GAS LINES AND GAS SERVICE LINES TO BE DETERMINED BY THE CONTRACTOR. EXISTING APERTURANCES FOR GAS UTILITY PIPES AND VALVE BOXES, ETC. ARE TO BE HELD BY THE CONTRACTOR DURING CONSTRUCTION.
- THE CONSTRUCTION OF THIS PROJECT SHALL BE GOVERNED BY THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS (CURRENT EDITION) SUPPLEMENTED WHERE APPLICABLE BY THE CITY OF BEACHWOOD RULES AND REGULATIONS.
- NOTIFY THE CITY OF BEACHWOOD AT 216-592-5914, 48 HOURS BEFORE ANY CONSTRUCTION ACTIVITY.
- FERTILIZING, SEEDING AND MULCHING FOR RESTORATION OF DISTURBED AREAS SHALL CONFORM TO SECTIONS 6909 AND 6910 AS SPECIFIED IN D.O.T. CONSTRUCTION AND MATERIAL SPECIFICATIONS (CURRENT EDITION).
- ALL DISTURBED SEINS, DRIVES AND DRIVE CULVERTS SHALL BE REPAIRED AND/OR REPLACED DURING THE CONSTRUCTION AT NO ADDITIONAL COST UNLESS OTHERWISE INDICATED ON THE PLANS.
- ALL DISTURBED AND/OR DAMAGED STORM SEWER PIPES, STORM SEWER APERTURANCES, PAYMENTS, BERMS AND DITCHES SHALL BE REPAIRED AND/OR REPLACED AS DIRECTED BY THE ENGINEER.
- CALL THE OHIO UTILITIES PROTECTION 48 HOURS PRIOR TO START OF CONSTRUCTION AT 1-800-652-7254.
- TEMPORARY WATER POLLUTION, SOIL EROSION AND SILTATION CONTROL MAY BE REQUIRED IN ACCORDANCE WITH THE D.O.T. CONSTRUCTION AND MATERIAL SPECIFICATIONS (CURRENT EDITION) AS DIRECTED BY THE ENGINEER AND CUYAHOGA SOIL AND WATER CONSERVATION DISTRICT.
- STORM SEWER PIPE MATERIALS SHALL CONSIST OF PVC MEETING ASTM D-3034 OR HIGH DENSITY POLYETHYLENE (HDPE) PIPE MEETING ASTM D2638, TYPE S.
- THE CITY ENGINEER IN APPROVING THESE PLANS DOES NOT IN ANY WAY RELIEVE THE DEVELOPER'S ENGINEER OF THEIR RESPONSIBILITY FOR ACCURATE AND COMPLETE ENGINEERING DESIGN.
- THE CITY ENGINEER SHALL NOT BE HELD LIABLE FOR DAMAGES OF ANY TYPE, WHICH OCCUR AS A RESULT OF FORCE MAJEURE OR OMISSIONS IN THE ENGINEERING DESIGN DATA PRESENTED BY THE OWNER'S ENGINEER. NEITHER SHALL THE CITY ENGINEER BE LIABLE FOR DAMAGES RESULTING FROM THE DEVELOPER'S CONTRACTOR'S NOT COMPLYING WITH APPROVED PLANS OR BY USING CONSTRUCTION METHODS OR MATERIALS NOT APPROVED BY THE CITY ENGINEER.
- ALL STORM WATER MANAGEMENT FACILITIES ARE TO BE PRIVATELY OWNED AND MAINTAINED.
- A 12" MINIMUM VERTICAL CLEARANCE MUST BE MAINTAINED FROM THE EDGE OF ALL WATER MAINS TO THE EDGE OF ALL PROPOSED STORM SEWERS AND/OR INLET LEAD PIPE WHERE THEY CROSS.
- A 30" MINIMUM HORIZONTAL CLEARANCE MUST BE MAINTAINED FROM THE EDGE OF THE WATER MAIN PIPE TO THE EDGE OF THE STORM SEWER PIPE.
- A 30" MINIMUM HORIZONTAL CLEARANCE MUST BE MAINTAINED FROM THE EDGE OF THE WATER MAIN PIPE TO THE EDGE OF THE SANITARY SEWER AND/OR FORCE MAIN PIPE.
- AN 18" MINIMUM VERTICAL CLEARANCE MUST BE MAINTAINED FROM THE EDGE OF ALL WATER MAIN PIPES TO THE EDGE OF ALL SANITARY SEWER PIPES WHERE THEY CROSS.
- EARTHWORK AND SITE PREPARATION SHALL BE AS SPECIFIED IN THE SOILS REPORT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IN THE ENGINEERING AND BUILDING DEPARTMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SILTATION CONTROL MEASURES NECESSARY TO PREVENT SILT FROM LEAVING THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF DEMOLITION MATERIAL AND DEBRIS.
- PROOF ROLLING SHALL BE REQUIRED ON ALL AREAS TO BE PAVED PER SECTION 203.13 AND 203.14 OF THE D.O.T. CONSTRUCTION AND MATERIAL SPECIFICATIONS.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- ALL CURB CUTS MUST BE PERFORMED WITH A HORIZONTAL CONCRETE CUTTING SAW.
- ELECTRICAL CONDUIT SHALL BE AS REQUIRED BY LOCAL ELECTRIC COMPANY.
- TELEPHONE CONDUIT SHALL BE AS REQUIRED BY LOCAL PHONE COMPANY.



VICINITY MAP  
NO SCALE



SUBMITTED BY: Matthew L. Weber REG. ENGINEER NO. 61709 DATE: 04/26/2025

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
BEACHWOOD CITY ENGINEER

**ADDITIONAL NOTES PER CUYAHOGA COUNTY DEPARTMENT OF PUBLIC WORKS**

- ALL SANITARY SEWER WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE "UNIFORM STANDARDS FOR SEWERAGE IMPROVEMENTS", DEC. 1998 EDITION, ALONG WITH THE CITY OF BEACHWOOD REQUIREMENTS.
- ALL SANITARY SEWER PIPE & JOINT MATERIALS SHALL MEET THE REQUIREMENTS OF THE "UNIFORM STANDARDS FOR SEWERAGE IMPROVEMENTS", DEC. 1998 EDITION.
- SANITARY SEWERS SHALL BE VACUUM TESTED AND SHALL MEET REQUIREMENTS OF THE COUNTY "UNIFORM STANDARDS FOR SEWERAGE IMPROVEMENTS", DEC. 1998 EDITION.
- SANITARY MANHOLE TESTING SHALL BE WITNESSED BY REPRESENTATIVE (INSPECTOR) OF THE CUYAHOGA COUNTY DEPARTMENT OF PUBLIC WORKS.
- COMPACTION 95% PROCTOR OF THE SANITARY SEWER TRENCH SHALL MEET THE REQUIREMENTS OF THE "UNIFORM STANDARDS FOR SEWERAGE IMPROVEMENTS", DEC. 1998 EDITION.
- CHIMNEY SEALS MUST BE INSTALLED IN ALL SANITARY MANHOLES.

**Utility Contacts**

**Water:**  
Cleveland Division of Water  
Permit and Sales, 2nd Floor  
1201 Lakeside Avenue  
Cleveland, Ohio 44114  
Phone: 216-664-2444

**San:**  
Cuyahoga County Department of Public Works  
Department of Sanitary Engineers  
2074 E. 9th Street, 5th Floor  
Cleveland, OH 44111  
(216) 348-3843

**Engineering:**  
City of Beachwood  
2325 Antonson Boulevard  
Beachwood, OH 44122  
216-292-5104  
Joseph R. Cunn, P.E., P.S.  
GPD Group-City Engineer  
5595 Transportation Boulevard, Suite 100  
Cleveland, OH 44122  
216-292-5104

**Utility Contacts**

**Electric:**  
First Energy - The Illuminating Company  
Ralph N. Dellagatti  
Engineering Supervisor  
Control Engineering Office  
The Illuminating Company  
(440) 356-7741  
E-mail: rdelagatti@firstenergycorp.com

**Gas:**  
Dominion East Ohio  
Dominion East Ohio  
Consultant of Engineering  
320 Sprague Drive, Suite 320  
Cleveland, OH 44115  
330.664.2404

**Telecom:**  
AT&T  
Todd Waeff  
Beachwood area center  
216-476-0803  
E-mail: twaeff@att.net

**Fire:**  
Nelson & Sons Planning  
216-476-7878  
E-mail: ds@nsplanning.com

**Cable:**  
Time Warner

**Kip Egan:**  
216-392-7953 cell  
216-291-5511 fax  
E-mail: kip.egan@twcable.com

2555 Hartville Rd., Suite B  
Rookstown, OH 44272  
www.WeberEngineeringServices.com  
330-329-2037  
matt@webercivil.com

Reg. No.: 61709

**CLIENT:**  
**GEIS CONSTRUCTION**  
10020 AURORA-HUDSON RD.  
STREETSBORO, OHIO  
JEN DIASIO  
PHONE: (216) 218-3507

**OWNER:**  
**COMMERCE BUILDING IV  
SITE IMPROVEMENTS  
23240 CHAGRIN BLVD., BEACHWOOD, OH**

**Issue Date**  
04-29-2026

**TITLE SHEET**  
**C100**  
Project No. 2026-123

**DESCRIPTION**

- TITLE SHEET
- DEMOLITION PLAN
- SITE PLAN
- UTILITY PLAN
- GRADING PLAN
- SITE DETAILS
- ABBREVIATED SWP3
- ABBREVIATED SWP3 DETAILS

**INDEX**

**SHEET NO.**

- C100
- C101
- C102
- C103
- C104
- C105
- C106
- C107-C109

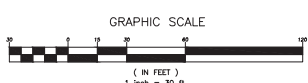
Survey by:

LANGAN ENGINEERING AND ENVIRONMENTAL SERVICE, INC.  
6000 LOMBARDO CENTER, SUITE 210  
CLEVELAND, OH 44131  
216.328.3300  
WWW.LANGAN.COM



| SITE BENCH MARK  |  |
|--|--|
| BENCH MARK #1<br>PN: 742-23-011<br>N: 655795.2614<br>E: 238073.8028<br>ELEVATION = 1148.36 | BENCH MARK #2<br>PN: 742-23-012<br>N: 655795.2386<br>E: 238074.2333<br>ELEVATION = 1153.07 |

**STORM & SANITARY SEWER NOTE:**  
CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION, DEPTH, SIZE, CONDITION AND CONNECTIVITY OF ALL STORM & SANITARY SEWER SYSTEMS ON THE SITE. SITE CIVIL ENGINEER SHALL BE INFORMED OF THE RESULTS OF THE INVESTIGATION PRIOR TO CONSTRUCTION.



**EX STORM STRUCTURE SCHEDULE**

- 1) EX STORM HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 2) EX STORM HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 3) EX STORM HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 4) EX STORM HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 5) EX STORM HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 6) EX STORM HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 7) EX STORM HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 8) EX STORM HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 9) EX STORM HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 10) EX STORM HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H

**EX SANITARY STRUCTURE SCHEDULE**

- 1) EX SANITARY HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 2) EX SANITARY HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 3) EX SANITARY HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 4) EX SANITARY HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 5) EX SANITARY HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 6) EX SANITARY HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 7) EX SANITARY HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 8) EX SANITARY HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 9) EX SANITARY HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H
- 10) EX SANITARY HANDHOLE  
TOP 1148.00, 12" H  
DNV 1148.00, 12" H  
DNV 1147.98, 12" H

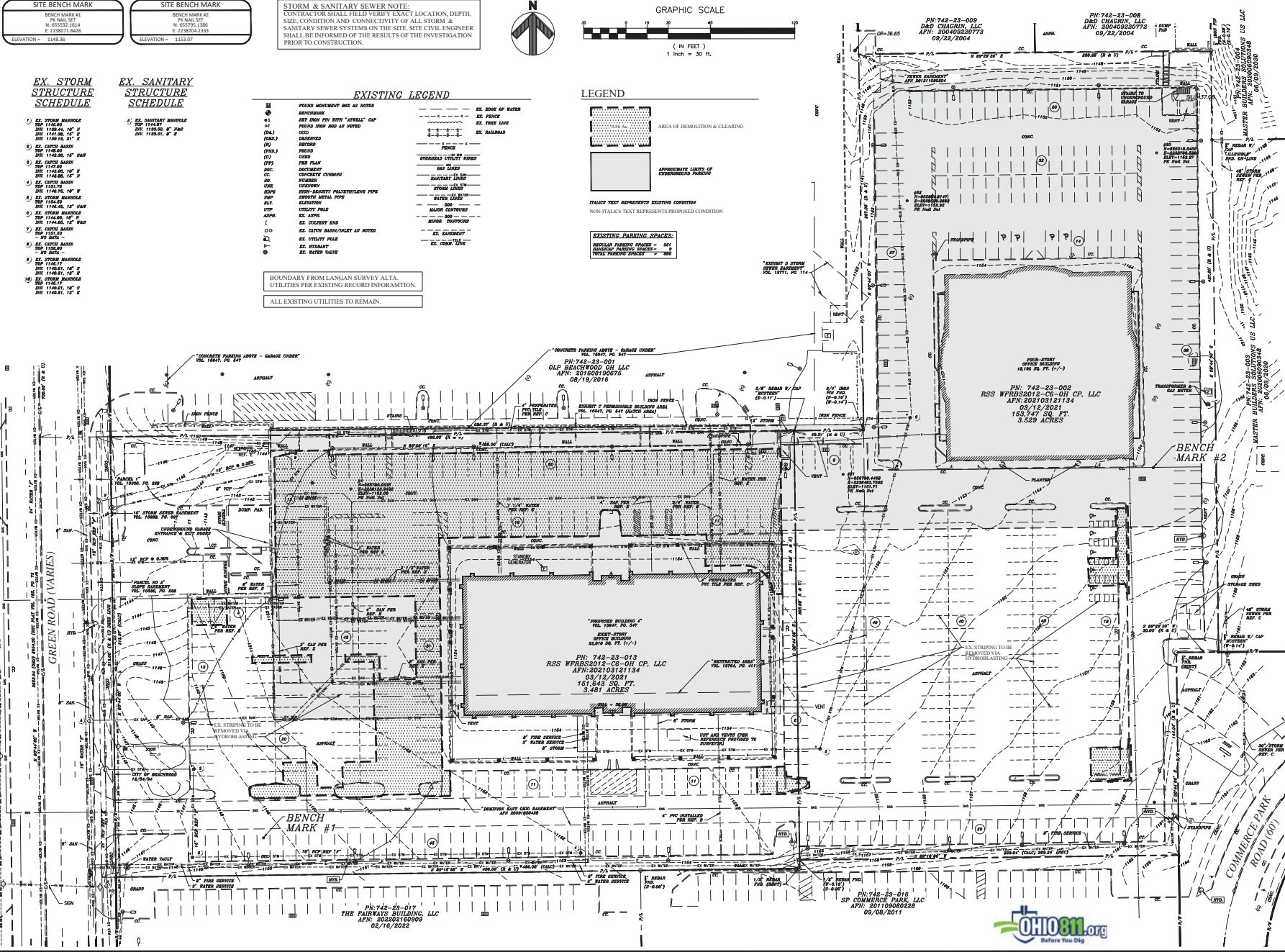
**EXISTING LEGEND**

|          |                                 |     |                   |
|----------|---------------------------------|-----|-------------------|
| ⊖        | FOUND MONUMENT BOX AS NOTED     | --- | EX. EDGE OF WATER |
| ⊙        | MANHOLE                         | --- | EX. FENCE         |
| ⊕        | DEP. IRON PIN WITH "ARRELS" CAP | --- | EX. TREE LINE     |
| ⊖        | FOUND IRON PIN AS NOTED         | --- | EX. RAILROAD      |
| (D4)     | GRAVEL                          |     |                   |
| (D4.1)   | GRAVEL                          |     |                   |
| (D4.2)   | GRAVEL                          |     |                   |
| (D4.3)   | GRAVEL                          |     |                   |
| (D4.4)   | GRAVEL                          |     |                   |
| (D4.5)   | GRAVEL                          |     |                   |
| (D4.6)   | GRAVEL                          |     |                   |
| (D4.7)   | GRAVEL                          |     |                   |
| (D4.8)   | GRAVEL                          |     |                   |
| (D4.9)   | GRAVEL                          |     |                   |
| (D4.10)  | GRAVEL                          |     |                   |
| (D4.11)  | GRAVEL                          |     |                   |
| (D4.12)  | GRAVEL                          |     |                   |
| (D4.13)  | GRAVEL                          |     |                   |
| (D4.14)  | GRAVEL                          |     |                   |
| (D4.15)  | GRAVEL                          |     |                   |
| (D4.16)  | GRAVEL                          |     |                   |
| (D4.17)  | GRAVEL                          |     |                   |
| (D4.18)  | GRAVEL                          |     |                   |
| (D4.19)  | GRAVEL                          |     |                   |
| (D4.20)  | GRAVEL                          |     |                   |
| (D4.21)  | GRAVEL                          |     |                   |
| (D4.22)  | GRAVEL                          |     |                   |
| (D4.23)  | GRAVEL                          |     |                   |
| (D4.24)  | GRAVEL                          |     |                   |
| (D4.25)  | GRAVEL                          |     |                   |
| (D4.26)  | GRAVEL                          |     |                   |
| (D4.27)  | GRAVEL                          |     |                   |
| (D4.28)  | GRAVEL                          |     |                   |
| (D4.29)  | GRAVEL                          |     |                   |
| (D4.30)  | GRAVEL                          |     |                   |
| (D4.31)  | GRAVEL                          |     |                   |
| (D4.32)  | GRAVEL                          |     |                   |
| (D4.33)  | GRAVEL                          |     |                   |
| (D4.34)  | GRAVEL                          |     |                   |
| (D4.35)  | GRAVEL                          |     |                   |
| (D4.36)  | GRAVEL                          |     |                   |
| (D4.37)  | GRAVEL                          |     |                   |
| (D4.38)  | GRAVEL                          |     |                   |
| (D4.39)  | GRAVEL                          |     |                   |
| (D4.40)  | GRAVEL                          |     |                   |
| (D4.41)  | GRAVEL                          |     |                   |
| (D4.42)  | GRAVEL                          |     |                   |
| (D4.43)  | GRAVEL                          |     |                   |
| (D4.44)  | GRAVEL                          |     |                   |
| (D4.45)  | GRAVEL                          |     |                   |
| (D4.46)  | GRAVEL                          |     |                   |
| (D4.47)  | GRAVEL                          |     |                   |
| (D4.48)  | GRAVEL                          |     |                   |
| (D4.49)  | GRAVEL                          |     |                   |
| (D4.50)  | GRAVEL                          |     |                   |
| (D4.51)  | GRAVEL                          |     |                   |
| (D4.52)  | GRAVEL                          |     |                   |
| (D4.53)  | GRAVEL                          |     |                   |
| (D4.54)  | GRAVEL                          |     |                   |
| (D4.55)  | GRAVEL                          |     |                   |
| (D4.56)  | GRAVEL                          |     |                   |
| (D4.57)  | GRAVEL                          |     |                   |
| (D4.58)  | GRAVEL                          |     |                   |
| (D4.59)  | GRAVEL                          |     |                   |
| (D4.60)  | GRAVEL                          |     |                   |
| (D4.61)  | GRAVEL                          |     |                   |
| (D4.62)  | GRAVEL                          |     |                   |
| (D4.63)  | GRAVEL                          |     |                   |
| (D4.64)  | GRAVEL                          |     |                   |
| (D4.65)  | GRAVEL                          |     |                   |
| (D4.66)  | GRAVEL                          |     |                   |
| (D4.67)  | GRAVEL                          |     |                   |
| (D4.68)  | GRAVEL                          |     |                   |
| (D4.69)  | GRAVEL                          |     |                   |
| (D4.70)  | GRAVEL                          |     |                   |
| (D4.71)  | GRAVEL                          |     |                   |
| (D4.72)  | GRAVEL                          |     |                   |
| (D4.73)  | GRAVEL                          |     |                   |
| (D4.74)  | GRAVEL                          |     |                   |
| (D4.75)  | GRAVEL                          |     |                   |
| (D4.76)  | GRAVEL                          |     |                   |
| (D4.77)  | GRAVEL                          |     |                   |
| (D4.78)  | GRAVEL                          |     |                   |
| (D4.79)  | GRAVEL                          |     |                   |
| (D4.80)  | GRAVEL                          |     |                   |
| (D4.81)  | GRAVEL                          |     |                   |
| (D4.82)  | GRAVEL                          |     |                   |
| (D4.83)  | GRAVEL                          |     |                   |
| (D4.84)  | GRAVEL                          |     |                   |
| (D4.85)  | GRAVEL                          |     |                   |
| (D4.86)  | GRAVEL                          |     |                   |
| (D4.87)  | GRAVEL                          |     |                   |
| (D4.88)  | GRAVEL                          |     |                   |
| (D4.89)  | GRAVEL                          |     |                   |
| (D4.90)  | GRAVEL                          |     |                   |
| (D4.91)  | GRAVEL                          |     |                   |
| (D4.92)  | GRAVEL                          |     |                   |
| (D4.93)  | GRAVEL                          |     |                   |
| (D4.94)  | GRAVEL                          |     |                   |
| (D4.95)  | GRAVEL                          |     |                   |
| (D4.96)  | GRAVEL                          |     |                   |
| (D4.97)  | GRAVEL                          |     |                   |
| (D4.98)  | GRAVEL                          |     |                   |
| (D4.99)  | GRAVEL                          |     |                   |
| (D4.100) | GRAVEL                          |     |                   |

**LEGEND**

|           |  |
|-----------|--|
| [Pattern] | AREA OF DEMOLITION & CLEARING  |
| [Pattern] | APPROXIMATE LIMITS OF UNDERGROUND PARKING  |
| [Text]    | ITALICS TEXT REPRESENTS EXISTING CONDITION<br>NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION                             |
| [Pattern] | EXISTING PARKING SPACES:<br>REGULAR PARKING SPACES = 861<br>HANDICAPPED PARKING SPACES = 8<br>TOTAL PARKING SPACES = 869 |

BOUNDARY FROM LANGAN SURVEY ALTA  
UTILITIES PER EXISTING RECORD INFORMATION.  
ALL EXISTING UTILITIES TO REMAIN.



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matt@webercivil.com

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**MATTHEW WEBER**  
#1708  
PROFESSIONAL ENGINEER  
Reg. No.: 61709

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10020 AURORA-HUDSON RD  
STREETSBORO, OHIO  
JEN DIASIO  
PHONE: (216) 218-3507

**OWNER:**  
**COMMERCE BUILDING IV  
SITE IMPROVEMENTS**  
23240 CHAGRIN BLVD., BEACHWOOD, OH

Issue Date  
04-29-2026

**DEMOLITION PLAN**

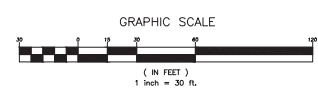
**C101**  
Project No. 2026-123



**SITE BENCH MARK**  
 BENCH MARK #1  
 PC 940.521  
 N: 65532.2614  
 E: 2328074.8828  
 ELEVATION = 1148.36

**SITE BENCH MARK**  
 BENCH MARK #2  
 PC 940.521  
 N: 655795.2386  
 E: 2328042.3333  
 ELEVATION = 1153.07

**STORM & SANITARY SEWER NOTE:**  
 CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION, DEPTH, SIZE, CONDITION AND CONNECTIVITY OF ALL STORM & SANITARY SEWER SYSTEMS ON THE SITE. SITE CIVIL ENGINEER SHALL BE INFORMED OF THE RESULTS OF THE INVESTIGATION PRIOR TO CONSTRUCTION.



**SITE DATA**

USE DISTRICT = U-7A (GENERAL OFFICE)  
 SITE AREA = 3.48 AC.  
 EX. BUILDING AREA = [Symbol]  
 BUILDING SETBACKS:  
 FRONT YARD = 75'  
 SIDE YARD = 10' (50' ALONG RES.)  
 REAR YARD = 25' (50' ALONG RES.)  
 PARKING SPACES:  
 REGULAR PARKING SPACES = 411  
 HANDICAP PARKING SPACES = 8  
 TOTAL PARKING SPACES = 419

**FLOOD ZONE**

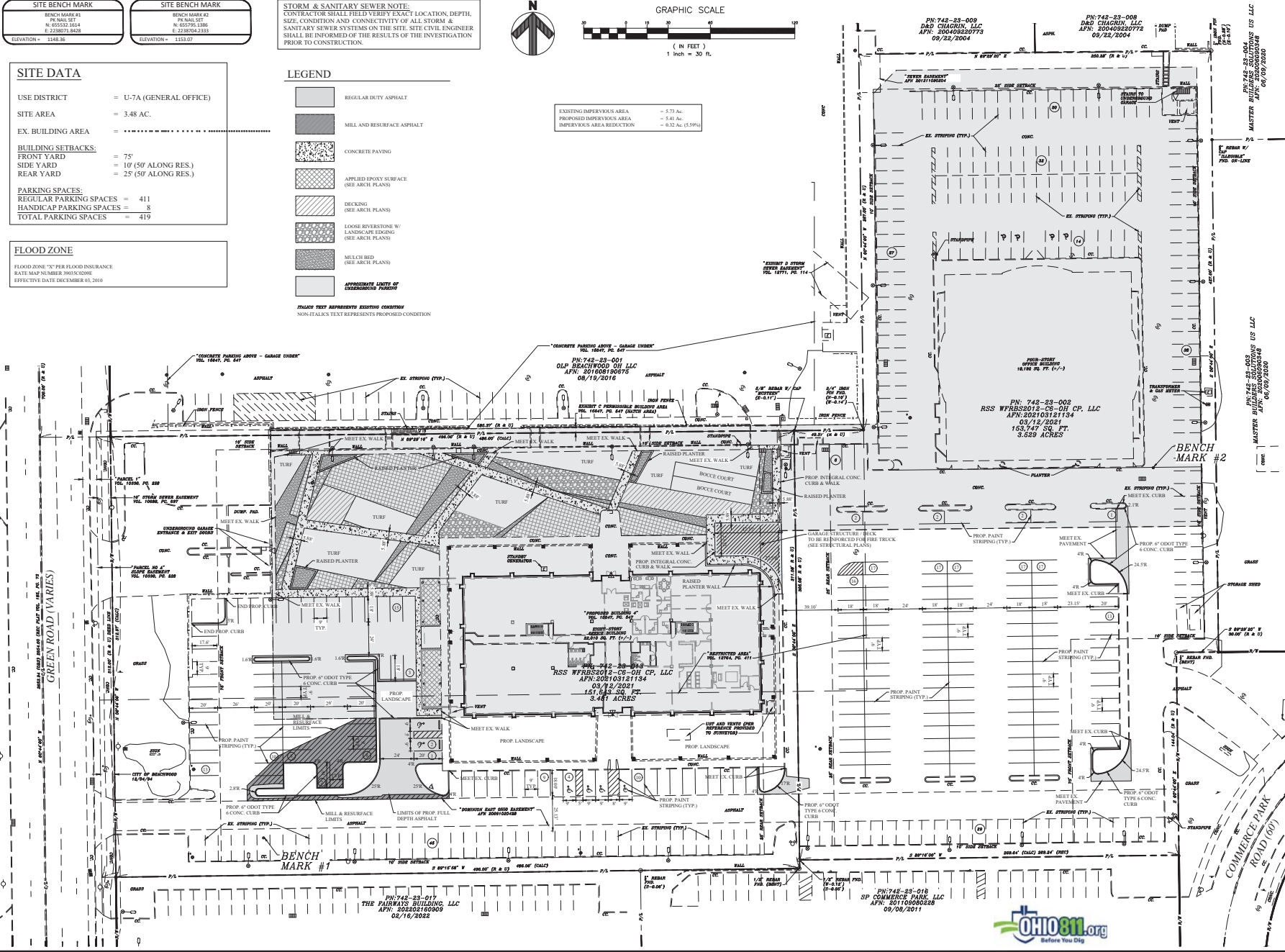
FLOOD ZONE "X" PER FLOOD INSURANCE RATE MAP NUMBER 39060C09E EFFECTIVE DATE DECEMBER 03, 2010

**LEGEND**

- [Symbol] REGULAR DUTY ASPHALT
- [Symbol] MILL AND RESURFACE ASPHALT
- [Symbol] CONCRETE PAVING
- [Symbol] APPLIED EPOXY SURFACE (SEE ARCH. PLANS)
- [Symbol] DECKING (SEE ARCH. PLANS)
- [Symbol] LOOSE RIVERSTONE W/ LANDSCAPE EDDING (SEE ARCH. PLANS)
- [Symbol] MULCH BED (SEE ARCH. PLANS)
- [Symbol] APPROXIMATE LIMITS OF OVERSEEDING PARKING

ITALIC TEXT REPRESENTS EXISTING CONDITION  
 NON-ITALIC TEXT REPRESENTS PROPOSED CONDITION

EXISTING IMPERVIOUS AREA = 5.73 AC.  
 PROPOSED IMPERVIOUS AREA = 5.41 AC.  
 IMPERVIOUS AREA REDUCTION = 0.32 AC. (5.59%)



PN: 742-23-009  
 D&D CHAGRIN, LLC  
 APR: 200408267772  
 09/28/2004

PN: 742-23-009  
 D&D CHAGRIN, LLC  
 APR: 200408267772  
 09/28/2004

PN: 742-23-004  
 MASTER BUILDINGS CONSULTING US, LLC  
 APR: 200408267772  
 06/09/2020

PN: 742-23-001  
 OLP BRACHWOOD OH, LLC  
 APR: 201808190875  
 06/19/2016

PN: 742-23-002  
 RSS WFRBS2012-C6-OH CP, LLC  
 APR: 20120108181134  
 03/12/2021  
 153,747 SQ. FT.  
 3.529 ACRES

PN: 742-23-010  
 THE FAIRWAYS BUILDING, LLC  
 APR: 200505103909  
 06/16/2021

PN: 742-23-010  
 SP COMMERCE PARK, LLC  
 APR: 201106080228  
 09/06/2011

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 MATTHEW WEBER  
 61708  
 PROFESSIONAL ENGINEER  
 Reg. No.: 61709

CLIENT:  
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 JEN DIASIO  
 PHONE: (216) 218-3507

OWNER:  
**COMMERCE BUILDING IV  
 SITE IMPROVEMENTS**  
 23240 CHAGRIN BLVD., BEACHWOOD, OH

Issue Date  
 04-29-2026

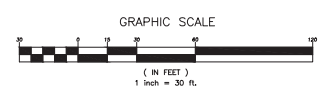
**SITE PLAN**

**C102**  
 Project No. 2026-123



| SITE BENCH MARK  | SITE BENCH MARK   |
|--|---|
| BENCH MARK #1<br>PN: 742-23-001<br>N: 65553.2614<br>E: 2328074.8628<br>ELEVATION = 1148.36 | BENCH MARK #2<br>PN: 742-23-002<br>N: 655795.2386<br>E: 2328004.2333<br>ELEVATION = 1153.07 |

**STORM & SANITARY SEWER NOTE:**  
CONTRACTOR SHALL VERIFY EXACT LOCATION, DEPTH, SIZE, CONDITION AND CONNECTIVITY OF ALL STORM & SANITARY SEWER SYSTEMS ON THE SITE. SITE CIVIL ENGINEER SHALL BE INFORMED OF THE RESULTS OF THE INVESTIGATION PRIOR TO CONSTRUCTION.

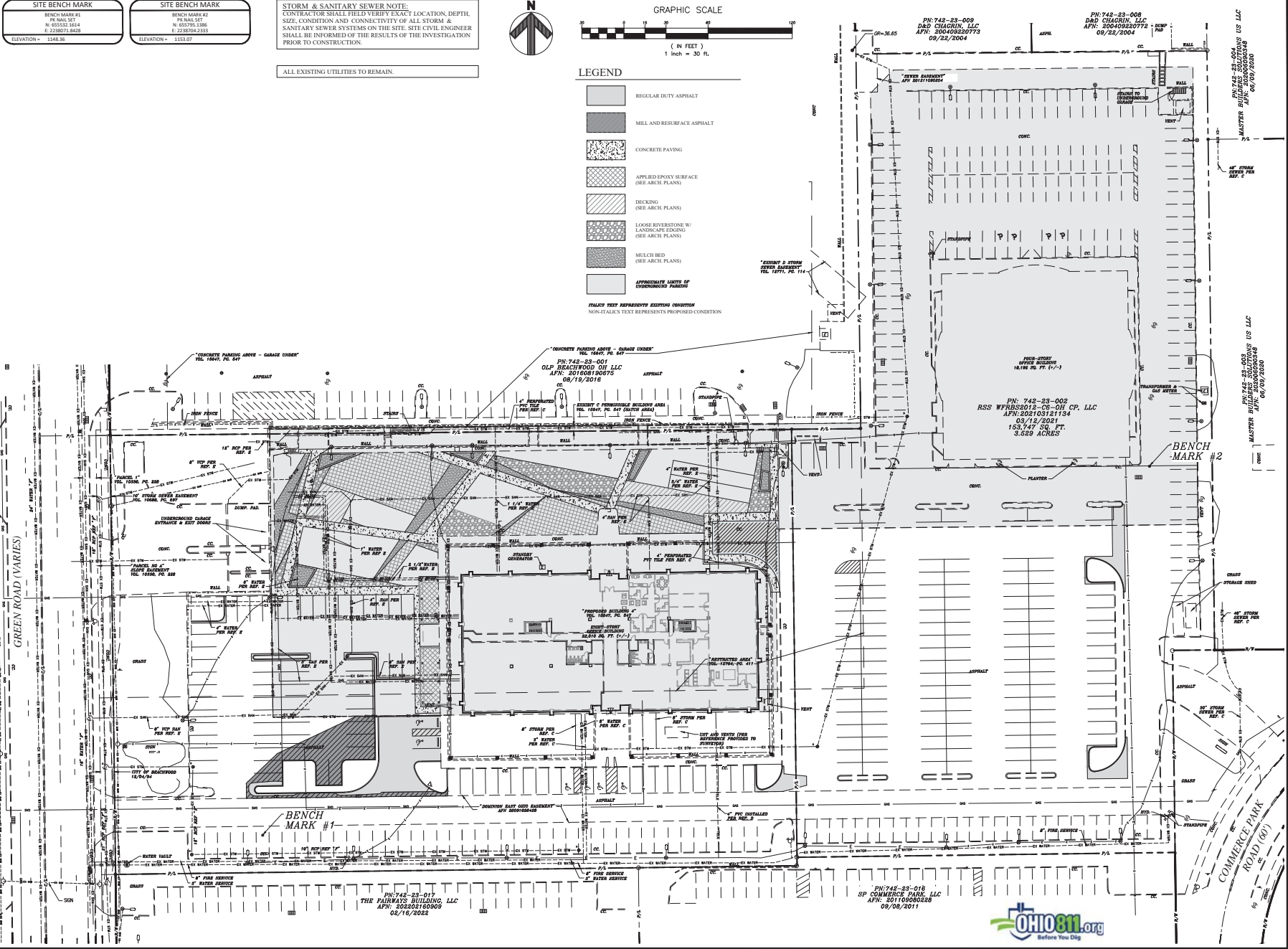


ALL EXISTING UTILITIES TO REMAIN.

**LEGEND**

|  |  |
|--|--|
|  | REGULAR DUTY ASPHALT                                   |
|  | MILLAND RESURFACE ASPHALT                              |
|  | CONCRETE PAVING  |
|  | APPLIED EPOXY SURFACE (SEE ARCH. PLANS)                |
|  | DECKING (SEE ARCH. PLANS)                              |
|  | LOOSE RIVERSTONE W/ LANDSCAPE EDGING (SEE ARCH. PLANS) |
|  | MULCH BED (SEE ARCH. PLANS)                            |
|  | APPROXIMATE LIMITS OF UNDERGROUND PARKING              |

ITALIC TEXT REPRESENTS EXISTING CONDITION  
NON-ITALIC TEXT REPRESENTS PROPOSED CONDITION



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**MATTHEW WEBER**  
Professional Engineer  
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JEN DIASIO  
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SITE IMPROVEMENTS**  
23240 CHAGRIN BLVD., BEACHWOOD, OH

Issue Date  
04-29-2026

UTILITY PLAN

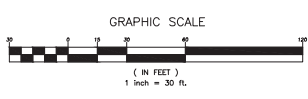
**C103**  
Project No. 2026-123



**SITE BENCH MARK**  
 BENCH MARK #1  
 TP NAD 83 SET  
 N: 65553.2614  
 E: 2328074.8628  
 ELEVATION = 1148.36

**SITE BENCH MARK**  
 BENCH MARK #2  
 TP NAD 83 SET  
 N: 655795.2386  
 E: 2328004.2333  
 ELEVATION = 1153.07

**STORM & SANITARY SEWER NOTE:**  
 CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION, DEPTH, SIZE, CONDITION AND CONNECTIVITY OF ALL STORM & SANITARY SEWER SYSTEMS ON THE SITE. SITE CIVIL ENGINEER SHALL BE INFORMED OF THE RESULTS OF THE INVESTIGATION PRIOR TO CONSTRUCTION.

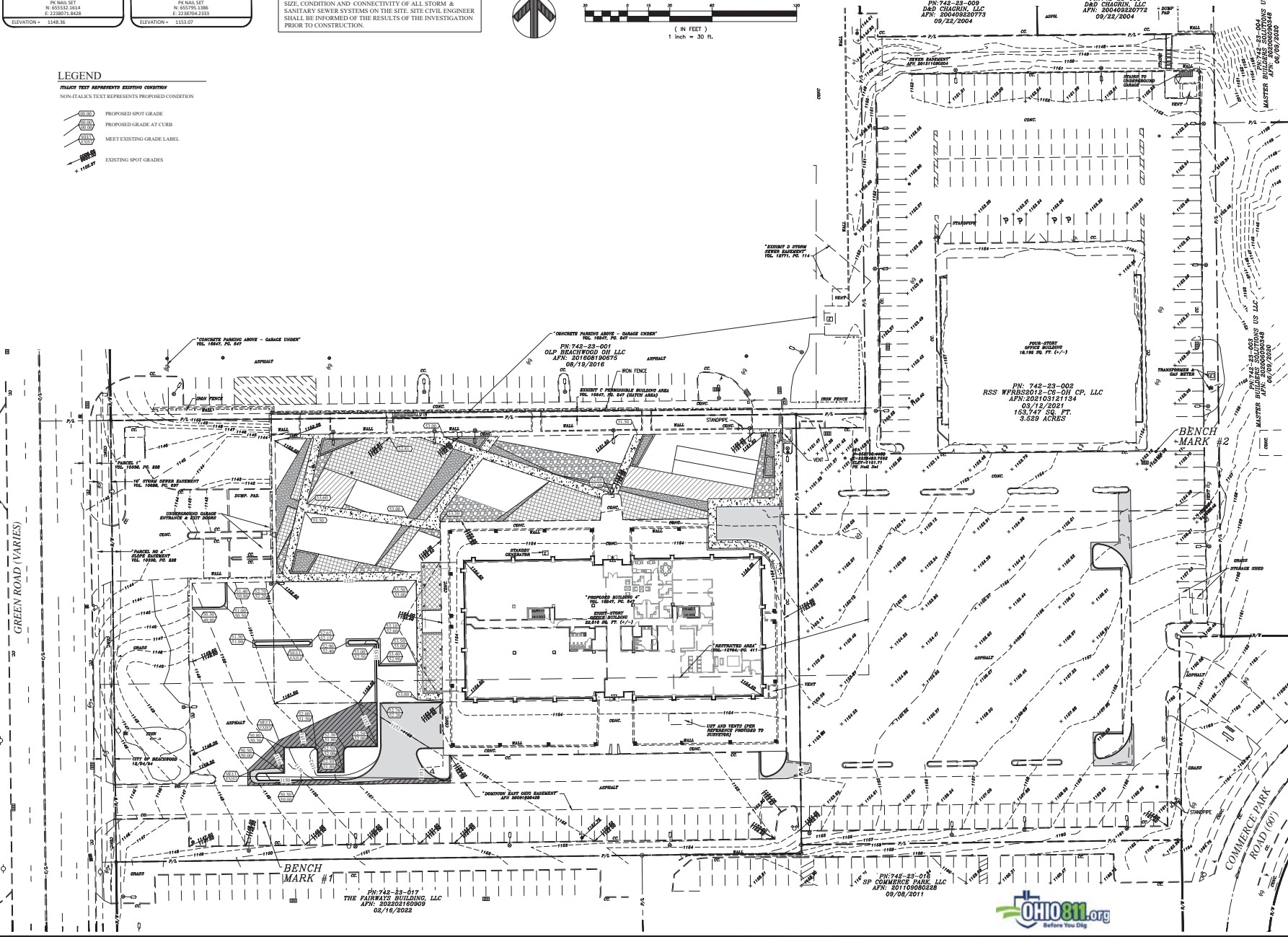


PN: 742-23-009  
 D&D CHAGRIN, LLC  
 APN: 30040820772  
 09/28/2004

PN: 742-23-008  
 D&D CHAGRIN, LLC  
 APN: 30040820772  
 09/22/2004

PN: 742-23-004  
 D&D CHAGRIN, LLC  
 APN: 30040820772  
 09/09/2000

- LEGEND**
- PLANNED TEXT REPRESENTS EXISTING CONDITION**
- PROPOSED SPOT GRADE
  - PROPOSED GRADE AT CURB
  - MEET EXISTING GRADE LABEL
  - EXISTING SPOT GRADES
- NON-PLANNED TEXT REPRESENTS PROPOSED CONDITION**



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**OWNER:**

**COMMERCE BUILDING IV  
 SITE IMPROVEMENTS**

23240 CHAGRIN BLVD., BEACHWOOD, OH

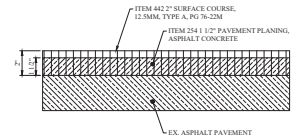
Issue Date  
 04-29-2026

**GRADING PLAN**

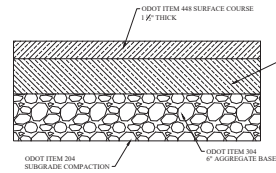
**C104**  
 Project No. 2026-123



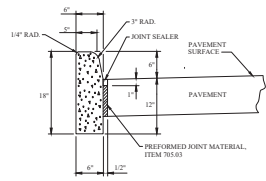
C:\Users\matt@weber-engineering.com\Desktop\Drawings\2026\121 Concrete Sidewalk Details.dwg, 4/29/2026, 10:10:54 AM



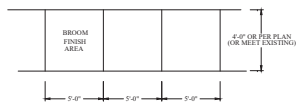
**PROP. PAVEMENT MILL AND RESURFACE DETAIL**  
REFERENCE ONLY NOT TO SCALE



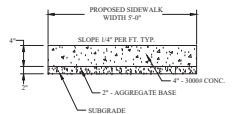
**PROP. REGULAR DUTY ASPHALT PAVEMENT**  
REFERENCE ONLY NOT TO SCALE  
(CONTRACTOR SHALL VERIFY WITH CURRENT GEOTECHNICAL REPORT PROVIDED BY OWNER)



**ODOT TYPE 6 CONCRETE CURB**  
REFERENCE ONLY NOT TO SCALE

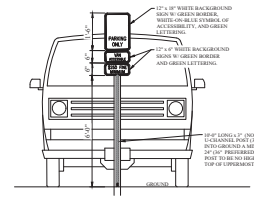


**CONCRETE SIDEWALK FINISH AND JOINTS**  
REFERENCE ONLY NOT TO SCALE

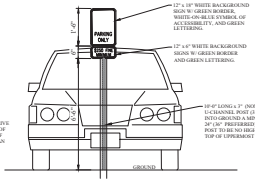


**CONCRETE SIDEWALK**  
REFERENCE ONLY NOT TO SCALE

**NOTE:**  
CRACK CONTROL SHALL BE AT FIFTEEN FOOT (15) INTERVALS AND SCORE MARKS SHALL BE AT FIVE FOOT (5) INTERVALS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ODOT ITEM 606. PRIOR TO THE START OF SIDEWALK CONSTRUCTION THE SUBGRADE MUST BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE. ANY SETTLEMENT OR DEFECTIVE AREAS IDENTIFIED BY THE OWNER'S REPRESENTATIVE SHALL BE REPAIRED BY A TIME THROU ACCEPTABLE TO THE OWNER. THE REPAIRED AREAS WILL BE SUBJECT TO COMPRESSION TESTING AND APPROVAL BY THE OWNER PRIOR TO THE START OF SIDEWALK CONSTRUCTION.



**VAN ACCESSIBLE PARKING SPACE SIGN**  
NOT TO SCALE



**HANDICAPPED PARKING DETAIL**  
NOT TO SCALE

**HANDICAPPED PARKING DETAIL**  
REFERENCE ONLY NOT TO SCALE

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JEN DIASIO  
PHONE: (216) 218-3507

**OWNER:**  
**COMMERCE BUILDING IV  
SITE IMPROVEMENTS**  
23240 CHAGRIN BLVD., BEACHWOOD, OH

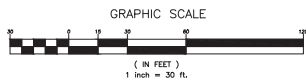
**Issue Date**  
04-29-2026

**SITE DETAILS**

**C105**  
Project No. 2026-123

**SITE BENCH MARK**  
 BENCH MARK #1  
 N 76.9461 SE1  
 N. 65552.2614  
 E. 232873.8628  
 ELEVATION = 1148.36

**SITE BENCH MARK**  
 BENCH MARK #2  
 N 76.9461 SE1  
 N. 655795.2386  
 E. 222804.2333  
 ELEVATION = 1153.07



ALL OFF-SITE BORROW OR SPOIL AREAS SHALL BE REQUIRED TO BE PERMITTED BY A SEPARATE NOI AND RELATED SWP3.

**FLOOD ZONE**

FLOOD ZONE "X" PER FLOOD INSURANCE RATE MAP NUMBER 3805000H  
 EFFECTIVE DATE DECEMBER 01, 2010

**ABBREVIATED SWP3 AMENDMENT ACTIVITIES**

GRADING DATE

SITE STABILIZATION DATE

ABBREVIATED SWP3 AMENDMENT DATE

**ABBREVIATED SWP3 RESPONSIBLE PARTY**

GEIS CONSTRUCTION  
 BEN GRABBY  
 19020 AURORA-HUDSON RD.  
 STREETSBORO, OHIO 44241  
 216-218-3507

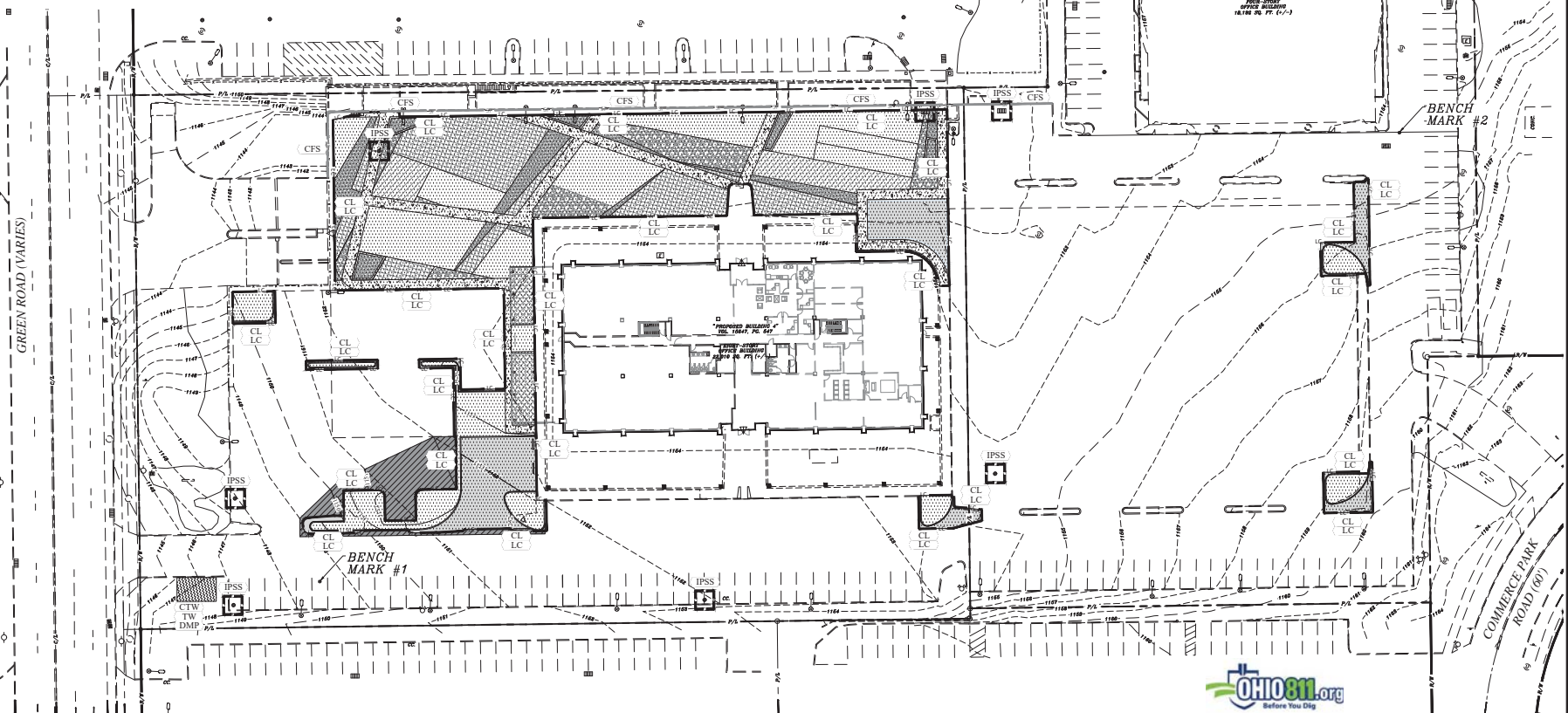
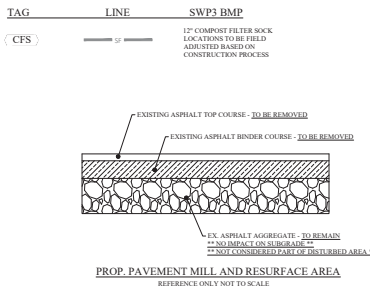
**ESTIMATED CONSTRUCTION DATES**

START DATE 07-01-2026  
 END DATE 10-01-2027

**ABBREVIATED SWP3 PREPARED**

04-28-2026

| TAG              | HATCH/SYMBOL | SWP3 BMP   |
|------------------|--------------|--|
| CL<br>LC         |              | CLEARING LIMITS, LIMITS OF CONSTRUCTION  |
| TCE              |              | NO TEMPORARY CONSTRUCTION ENTRANCE WILL BE REQUIRED DUE TO WASTE ACCESS IS ALL HARD SURFACE            |
| CTW<br>TW<br>DMP |              | CEMENT TRUCK WASHOUT, TOXIC WASTE AND DUMPSTER LOCATION, THERE WILL BE NO VEHICLE FUELING ON THIS SITE |
| IPSS             |              | INLET SILT SACK PROTECTION (SEE DETAIL ON SHEET C109)  |
|                  |              | MILL AND RESURFACE ASPHALT   |



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Reg. No.: 61709

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 JEN DIASIO  
 PHONE: (216) 218-3507

**OWNER:**

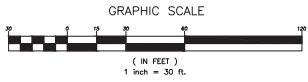
**COMMERCE BUILDING IV  
 SITE IMPROVEMENTS**  
 23240 CHAGRIN BLVD., BEACHWOOD, OH

Issue Date  
 04-29-2026

**ABBREVIATED SWP3 PLAN**

**C106**  
 Project No. 2026-123

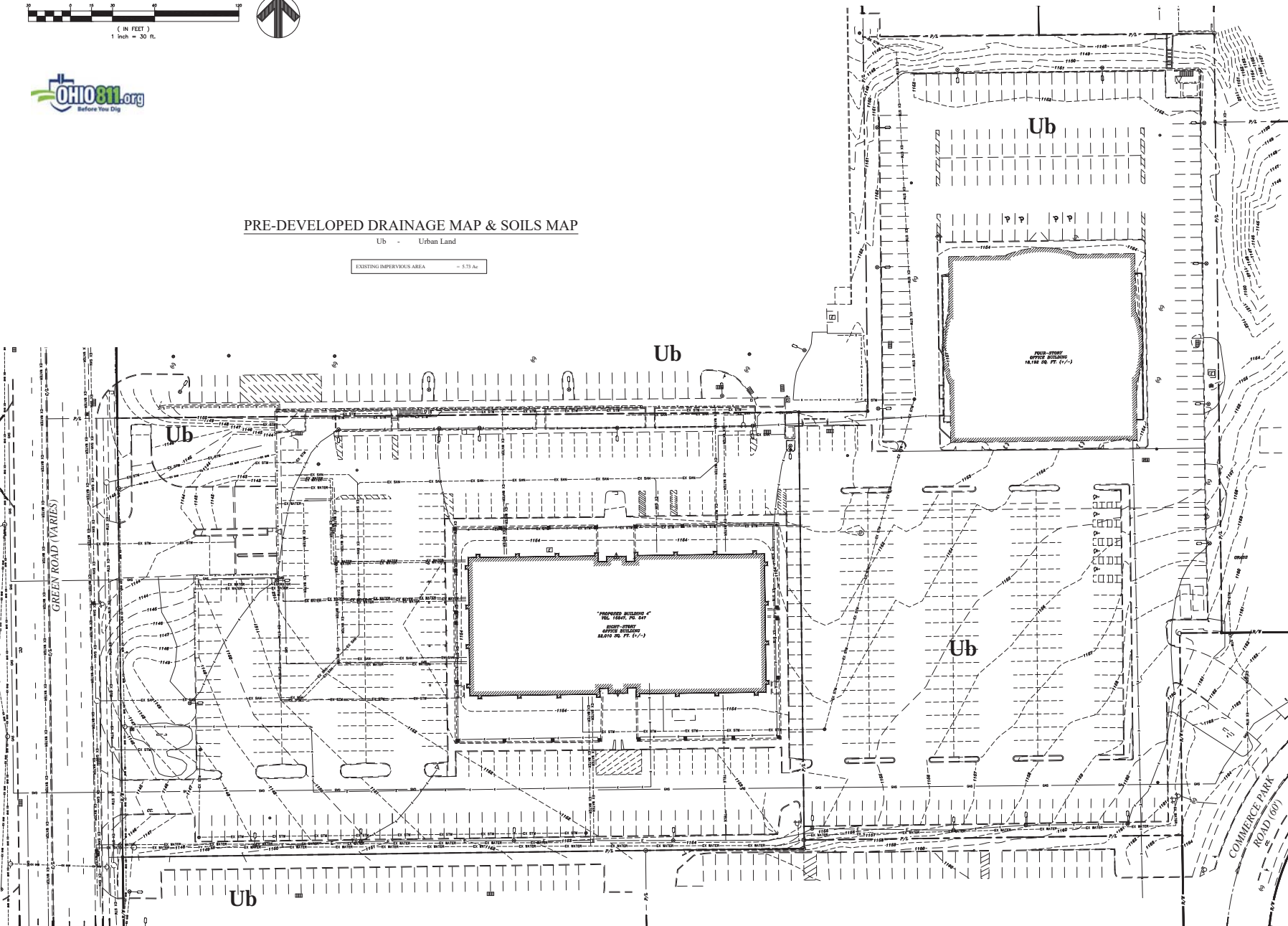




**PRE-DEVELOPED DRAINAGE MAP & SOILS MAP**

Ub - Urban Land

EXISTING IMPERVIOUS AREA - 5.73 Ac



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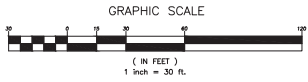
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**COMMERCE BUILDING IV  
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 23240 CHAGRIN BLVD., BEACHWOOD, OH**

Issue Date  
 04-29-2026

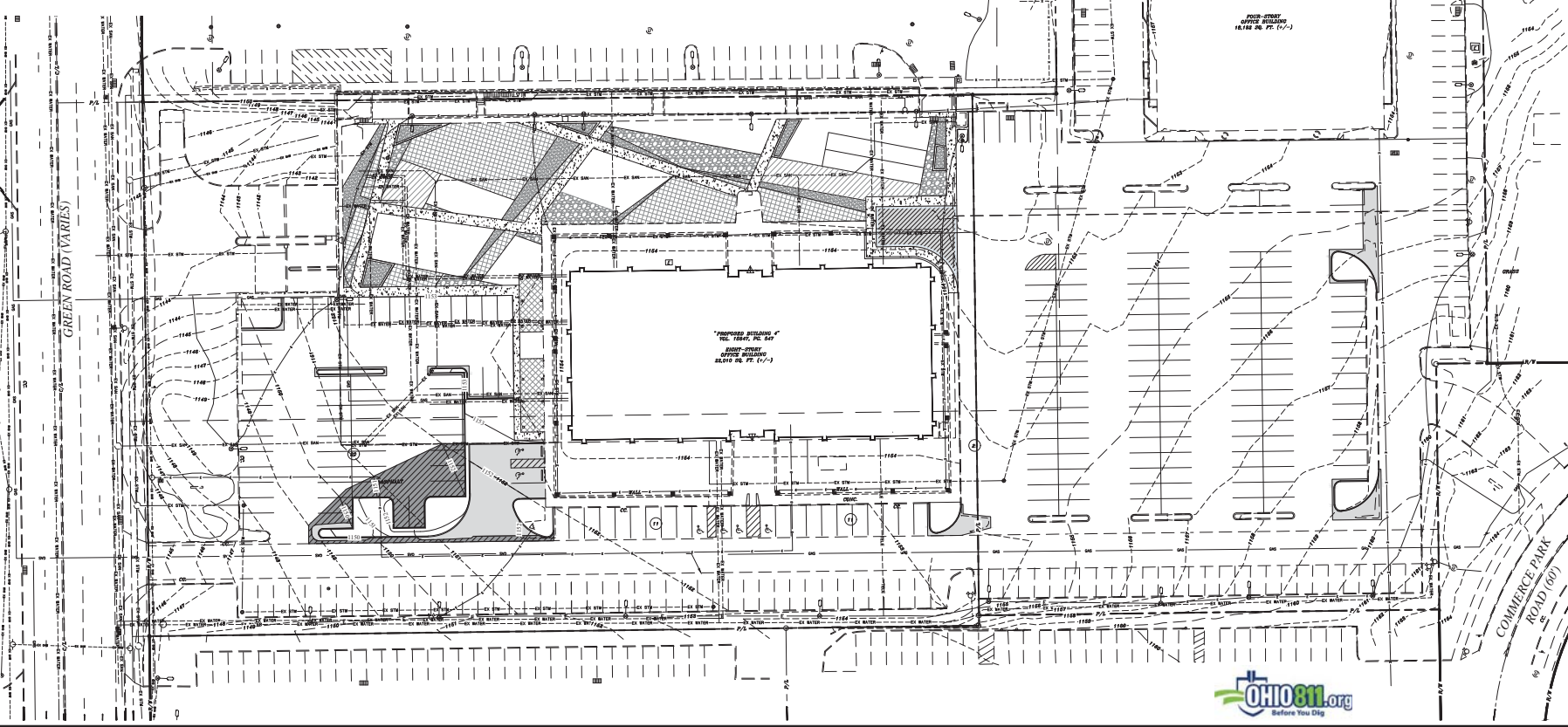
**ABBREVIATED  
 SWP3  
 DETAILS**

**C107**  
 Project No. 2026-123



**POST DEVELOPED DRAINAGE MAP**

PROPOSED IMPERVIOUS AREA = 5.41 Ac.



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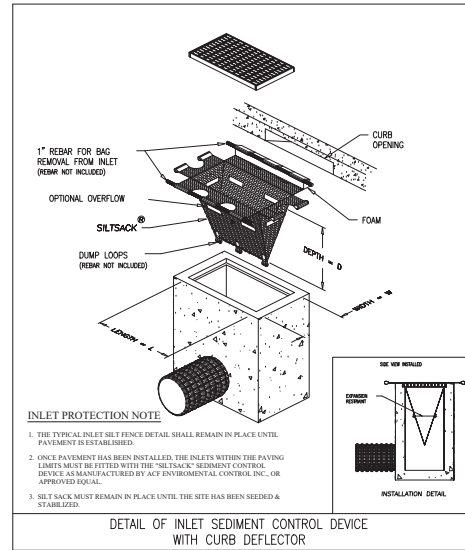
**COMMERCE BUILDING IV  
 SITE IMPROVEMENTS**  
 23240 CHAGRIN BLVD., BEACHWOOD, OH

**ABBREVIATED  
 SWP3  
 DETAILS**

**C107A**  
 Project No. 2026-123







1" REBAR FOR BAG  
RECUVAL FROM INLET  
(REBAR NOT INCLUDED)

OPTIONAL OVERTOP

SILTSACK®  
(REBAR NOT INCLUDED)

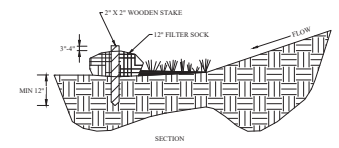
DUMP LOOPS  
(REBAR NOT INCLUDED)

**INLET PROTECTION NOTE**

1. THE TYPICAL INLET SILT FENCE DETAIL SHALL REMAIN IN PLACE UNTIL PAVEMENT IS ESTABLISHED.
2. ONCE PAVEMENT HAS BEEN INSTALLED, THE INLETS WITHIN THE PAVING LIMITS MUST BE FITTED WITH THE "SILTSACK" SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACE ENVIRONMENTAL CONTROL INC., OR APPROVED EQUAL.
3. SILT SACK MUST REMAIN IN PLACE UNTIL THE SITE HAS BEEN SEED & STABILIZED.

**DETAIL OF INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR**

(TPSS) SILTSACK DETAIL



1. MATERIALS-COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY FERTILIZERS, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-COMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF PARTICLES RANGING FROM 2\"/>
- MAINTENANCE:**
2. FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS, TUBULAR, HOPE F KNITTED MESH NETTING MATERIAL FILLED WITH COMPOST PRODUCTS.
  3. REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
  4. WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
  5. REMOVAL OF THE SOCKS WILL BE DEPENDENT ON SITE WHEN NO LONGER REQUIRED BUT IN SUCH A WAY AS TO FACILITATE AN OBSTRUCT SEEDINGS.

**COMPOST FILTER SOCK DETAIL**  
REFERENCE ONLY NOT TO SCALE

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**OWNER:**

**Issue Date**  
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**COMMERCE BUILDING IV  
SITE IMPROVEMENTS**  
23240 CHAGRIN BLVD., BEACHWOOD, OH

**ABBREVIATED SWP3 DETAILS**

**C109**  
Project No. 2026-123

**SPECIFICATIONS FOR DUST CONTROL**

| ADHESIVES FOR DUST CONTROL                   |                                 |             |                           |
|--|---------------------------------|-------------|---------------------------|
| ADHESIVE                                     | WATER DILUTION (ADHESIVE WATER) | NOZZLE TYPE | APPLICATION RATE GAL./AC. |
| LATEX EMULSION                               | 12.5:1                          | FINE        | 235                       |
| TESIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC) | 4:1                             | FINE        | 300                       |
| ACRYLIC EMULSION (NO-TRAFFIC)                | 7:1                             | COARSE      | 450                       |
| ACRYLIC EMULSION (TRAFFIC)                   | 3.5:1                           | COARSE      | 350                       |

1. VEGETATIVE COVER AND MULCH: APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 21 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING PRACTICES, AND TREE AND NATURAL AREA PROTECTION PRACTICES.
  2. WATERING- SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HILLS, ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
  3. SPRAY-ON ADHESIVES-APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS
  4. STONE - GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL, AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
  5. BARRIERS- EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
  6. CALCIUM CHLORIDE - THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIERS' SPECIFIED RATES.
  7. OPERATION AND MAINTENANCE - WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPEITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.
- STREET CLEANING- PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET-TYPE ENDLOADER OR SCRAPER.

**SPECIFICATIONS FOR MULCHING**

1. MULCH AND OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 14 DAYS OF GRADING IF THE AREA IS TO REMAIN DOMINANT (CONSISTENT FOR MORE THAN 21 DAYS) OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.
2. MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
  - STRAW - SHALL BE UNBOTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES).
  - THE STRAW MULCH SHALL BE SPREAD UNFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED FOR UNIFORM DISTRIBUTION OF HAND-BRED MULCH.
  - DIVER AREA INTO APPROXIMATELY 1,000-SQ.-FT. SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.
  - HYDROBINDER - WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB./AC OR 46 LB./1,000 SQ. FT.
  - OTHER - ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS AND ROLLED EROSION CONTROL PRODUCTS APPLIED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS OR WOOD MULCH/CIPS APPLIED AT 10-20 TONS/AC.
3. MULCH ANCHORING - MULCH SHALL BE ANCHORED ADEQUATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH:
  - MECHANICAL - USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL.
  - STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT LEFT GENERALLY LONGER THAN 6 INCHES.
  - MULCH NETTING - USE ACCORDING TO THE MANUFACTURERS' RECOMMENDATIONS.
  - FOLLOWING ALL PLACEMENT AND ANCHORING REQUIREMENTS, USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
  - SYNTHETIC BINDER - FOR STRAW MULCH, SYNTHETIC BINDER SUCH AS ACRYLIC DLR (GORE-TAC), POLYMER, PETROLEUM THERA-TACK, OR RUGAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
  - ALL APPLICATIONS OF SYNTHETIC BINDER MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATER OF THE STATE.
  - WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS./AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 200 LB./100 GAL. OF WOOD CELLULOSE FIBER.

**SPECIFICATIONS FOR SODDING**

- MATERIALS**
1. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 48 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION.
  2. THE SOD SHALL BE KEPT MOST AN COVERED DURING HAULING AND PREPARATION FOR PLACEMENT.
  3. SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 6 TO 8 INCHES, PLUS OR MINUS 0.2 INCHES, AT THE TIME OF CUTTING. MEASUREMENTS FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- SITE PREPARATION**
1. A SUBSOILER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHALL NOT BE CONSIDERED A SLIP PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED ONLY TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
  2. THE AREA SHALL BE GRADED AND TOPSOIL SPREAD WHERE NEEDED.
- SOIL AMENDMENTS**
1. LIME - AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACIDIC SOILS AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 LB./1,000 SQ. FT. OR 2 TONS/AC.
  2. FERTILIZER - FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 12 LB./1,000 SQ. FT. OR 500 LB./AC. OF 10-10-10 OR 12-12-12 ANALYSIS.
- THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK, HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES.
4. BEFORE LAYING SOD, THE SURFACE SHALL BE UNFORMLY GRADED AND CLEARED OF ALL DEBRIS, STONES AND CLDS LARGER THAN 3-IN. DIAMETER.
- SOD INSTALLATION**
1. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURES, THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY BEFORE LAYING THE SOD.
  2. SOD SHALL NOT BE PLACED ON FROZEN SOIL.
  3. THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED IN A BRICK PATTERN. JOINTS THAT SODS NOT STRETCH TO FULL OVERLAP AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOID THAT WOULD DRY THE ROOTS.
  4. ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGE PARALLEL TO THE CONTOUR AND STAGGERED JOINTS. THE SOD SHALL BE SECURED WITH PEGS OR STAPLES.
  5. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO ENSURE SOLID CONTACT OF ROOTS WITH THE SOIL. THEREAFTER, SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING UNTIL THE SOD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN 8 HOURS.
- MAINTENANCE**
1. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK, WITH SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES.
  2. AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND ENSURE ESTABLISHMENT.
  3. THE FIRST MOWING SHALL NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED.



**NOTICE**

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**COMMERCE 4 CONVERSION**  
BEACHWOOD, OH

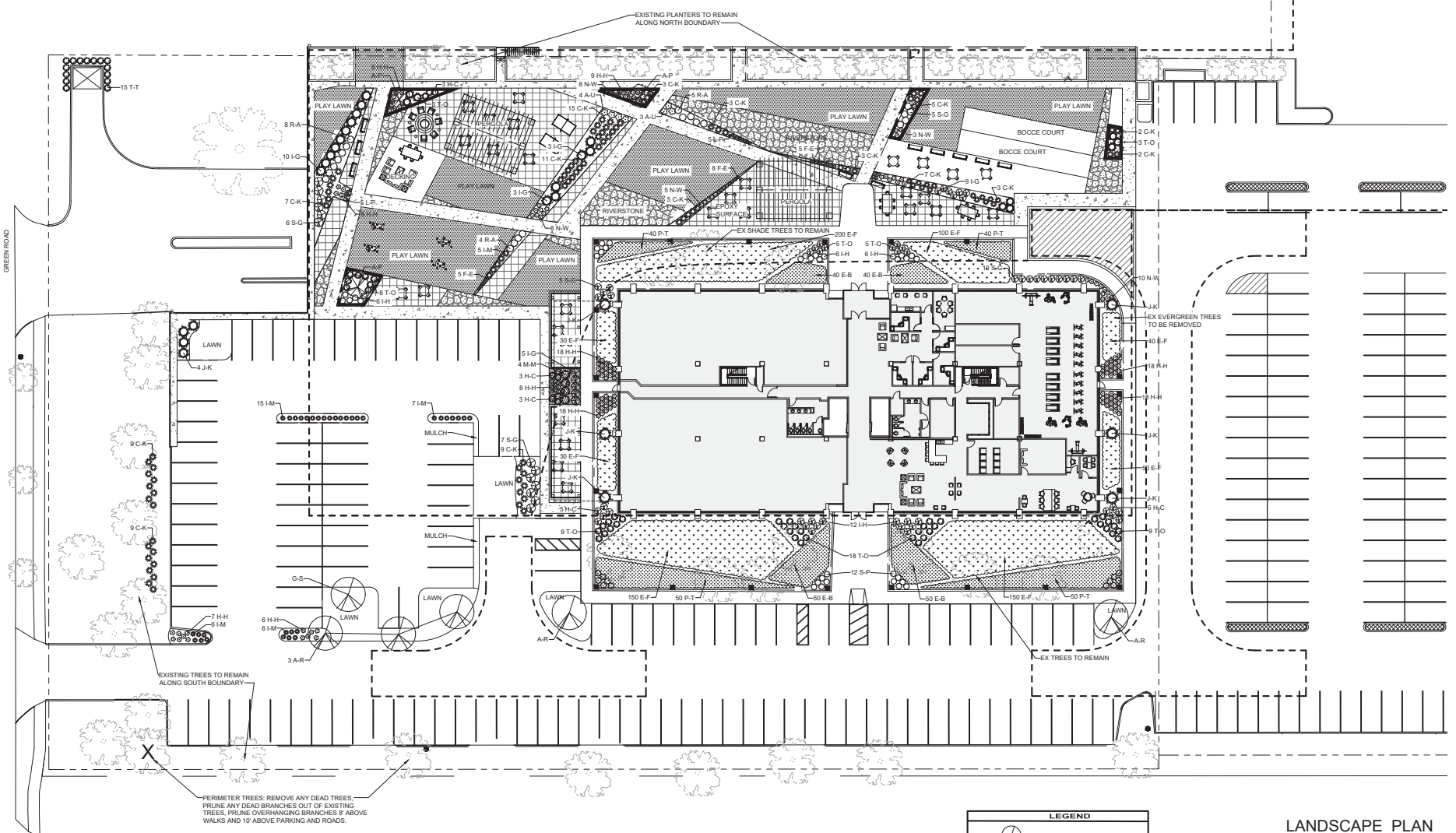
Drawn By RW  
Checked By RW  
Project Number 44516



**NORTH**

LANDSCAPE PLAN  
DRAWING NO:

**LP-1**



EXISTING TREES TO REMAIN ALONG SOUTH BOUNDARY

PERIMETER TREES: REMOVE ANY DEAD TREES. PRUNE ANY DEAD BRANCHES OUT OF EXISTING TREES. PRUNE OVERHANGING BRANCHES 8' ABOVE WALKS AND 10' ABOVE PARKING AND ROADS.

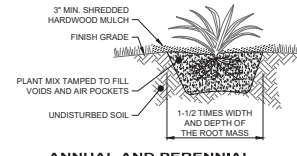
- NOTES**
1. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED, FINE GRADED AND SEEDED WITH APPROPRIATE SEED MIX.
  2. MAINTAINED LAWN AREAS TO BE SEEDED WITH DWARF TALL FESCUE SEED MIX.

| LEGEND |                                      |
|--------|--------------------------------------|
|        | SHADE TREES                          |
|        | ORNAMENTAL TREES - 1"-1/2" CALIPER   |
|        | EVERGREEN TREES - 5' HT.             |
|        | SHRUBS - LARGE 30"-36"               |
|        | SHRUBS - SMALL 18"-24"               |
|        | GRASSES/PERENNIALS/ GROUNDCOVER - 1" |
|        | EXISTING TREES                       |

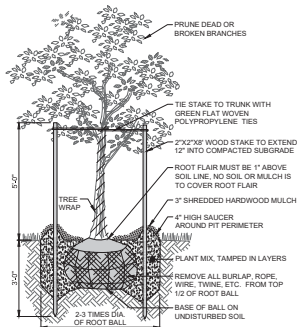
**LANDSCAPE PLAN**  
1" = 20'-0"

**LANDSCAPE NOTES**

- GRAPHICAL SCREENING AND SHADING IS USED TO DE-EMPHASIZE EXISTING CONDITION ITEMS AND SOME NEW IMPROVEMENTS TO HIGHLIGHT SELECTED TRADE WORK.
- PROPOSED DEMOLITION PLAN ITEMS ARE NOT SHOWN FOR CLARITY PURPOSES. SEE OTHER PLAN SHEETS.
- ALL DISTURBED AREAS SHALL BE SEEDED PER PLAN.
- ALL LAWN, TREE AND PLANT INSTALLATION SHALL BE PERFORMED BY A FIRM SPECIALIZING IN LANDSCAPE WORK.
- THE CONTRACTOR MUST DETERMINE THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES AND THEIR EASEMENTS AND PERFORM WORK IN A MANNER THAT WILL AVOID DAMAGE OF UTILITIES. HAND EXCAVATE, AS REQUIRED.
- THE CONTRACTOR SHALL PROTECT EXISTING TREES AND PLANTS NOT DESIGNATED FOR REMOVAL. ANY TREE OR PLANT, INCLUDING ROOTS, DAMAGED BY CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH LIKE SPECIES AND SIZE WITH NO ADDITIONAL COMPENSATION.
- ALL TREES AND PLANTS SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND BE LABELED WITH A WATERPROOF TAG INDICATING SPECIES AND SIZE. SPECIFIED TREE AND PLANT SIZES ARE MINIMUM SIZES TO BE INSTALLED. ANY PLANT SUBSTITUTION MUST BE APPROVED BY THE ARCHITECT. IF QUANTITIES LISTED IN PLANT MATERIAL LIST DO NOT CORRELATE WITH PLANTINGS INDICATED ON PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN.
- TREE TRUNKS SHALL BE WRAPPED PRIOR TO LEAVING THE NURSERY TO PROTECT FROM INJURY DURING TRANSPORT. WRAPPING SHALL BE REMOVED, BUT ONLY AFTER PLANTED. PLANT MATERIALS SHALL BE PROVIDED WITH PROTECTIVE COVERINGS DURING TRANSPORT TO REDUCE DESICCATION.
- THE CONTRACTOR SHALL HAVE SOIL TESTS PERFORMED AT HIS EXPENSE BY A TESTING LABORATORY TO DETERMINE AMENDMENTS, IF ANY, TO EXISTING SOILS.
- PLANT MIX SHALL CONSIST OF EXISTING SOIL FREE OF DEBRIS, STICKS AND STONES GREATER THAN 1/2" AND CONTAIN TWENTY PERCENT (20%) ORGANIC MATTER BY VOLUME. 95% OF TOPSOIL SHALL PASS A 2.0 MILLI SIEVE. ADD SOIL AMENDMENTS TO THE EXISTING SOIL AS REQUIRED BY THE SOIL TEST. ORGANIC MATTER SHALL CONSIST OF COMPOSTED LEAVES, COMPOSTED SLUDGE OR OTHER APPROVED MATERIAL. PEAT MOSS IS NOT AN ACCEPTABLE MATERIAL. ADD GRANULAR SOIL MIX TO TOPSOIL MIX, APPLIED PER MANUFACTURER'S RECOMMENDED RATES FOR THE SIZE AND TYPE OF PLANT MATERIAL SPECIFIED, IF NO IRRIGATION IS APPLIED.
- TREES AND PLANTS SHALL BE DELIVERED AFTER PREPARATION FOR PLANTING HAS BEEN COMPLETED, BUT NOT STORED MORE THAN 2 WEEKS. PLANT IMMEDIATELY UPON DELIVERY, OR PROTECT FROM WEATHER AND HAIL DAMAGE AND KEEP ROOTS MOIST.
- LAYOUT OF TREES AND PLANT MATERIALS MUST BE ACCEPTED BY THE ARCHITECT PRIOR TO PLANTING. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN 24" FROM A BUILDING, CURB, PAVEMENT OR SIDEWALK.
- PLANTING BED PREPARATION: LOOSEN EXISTING SOIL, ADD TOPSOIL IN SUFFICIENT QUANTITY TO RAISE BED 4-6" ABOVE FINISHED LAWN GRADE. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND AROUND PLANTING BEDS TO PREVENT PONDING OF WATER. DO NOT RAISE BED GRADES, FINISHED GRADES, OR MULCH ABOVE FINISHED FLOOR ELEVATIONS. PLANTING BEDS AGAINST EXISTING WALLS SHALL BE SLOPED AWAY FROM THE BUILDING AT A MINIMUM 1% SLOPE. ALL PLANTING BEDS TO RECEIVE A MINIMUM OF 6" TOPSOIL.
- MULCH ALL PLANTING BEDS, AND DISTURBED AREAS WITH A 3" DEPTH OF DOUBLE SHREDDED HARDWOOD BARK.
- ALL NODD ROPING TWINE SHALL BE REMOVED, PRIOR TO PLANTING. ALL NON-TREATED BURLAP AND NON-ROT PROOF BURLAP TO BE REMOVED FROM TOP HALF OF ROOTBALL. ALL TREATED BURLAP OR POLYPROPYLENE BURLAP TO BE COMPLETELY REMOVED FROM PLANTING PIT.
- FERTILIZER: EACH TREE AND SHRUB PLANTING TO RECEIVE GRANULAR NITROFORM (18-6-12) FERTILIZER OR EQUAL.
- WATER SHALL BE FURNISHED FOR WATERING TREES AND PLANTS ON A WEEKLY BASIS IN ABSENCE OF 1-1/2" RAINFALL. TREES AND PLANTS SHALL BE THOROUGHLY WATERED THROUGHOUT THE PERIOD OF ESTABLISHMENT. SATURATE THE ROOT ZONE AND MULCHED AREA OF EACH TREE OR PLANT WITHOUT CAUSING FLOODING. DRIP IRRIGATION BAGS MAY BE USED ON INDIVIDUAL TREES.
- TAGS, STRINGS, ROPES AND WIRES SHALL BE REMOVED FROM TREES AND PLANTS ABOVE AND BELOW GRADE.
- BEFORE FINAL INSPECTION BY THE ARCHITECT, ALL TREES AND PLANTS SHALL BE IN PLACE AND UNDER THE CARE OF THE CONTRACTOR FOR A PERIOD OF ESTABLISHMENT. THIS PERIOD SHALL BEGIN UPON COMPLETION OF PLANTING OPERATIONS AND CONTINUE UNTIL OCTOBER 1ST, BUT IN NO CASE BE LESS THAN ONE (1) GROWING SEASON FROM JUNE 1ST TO OCTOBER 1ST. DURING THIS PERIOD, HORTICULTURAL PRACTICES SHALL BE FOLLOWED THAT WILL ENSURE THE VIGOR AND GROWTH OF TRANSPLANTED MATERIAL, INCLUDING WATERING, MULCHING, STAKING, GUYING, WEEDING, CULTIVATING AND PRUNING.
- ALL TREES AND PLANTS SHALL BE GUARANTEED AND COVERED BY A MAINTENANCE BOND FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF ACCEPTANCE BY THE ARCHITECT. ANY TREE OR PLANT WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO ACCEPTANCE SHALL BE REMOVED AND REPLACED WITH THE SAME SPECIES, QUANTITY AND SIZE AND MEET ALL SPECIFICATIONS BEFORE OR AT THE END OF THE GUARANTEE PERIOD AT NO ADDITIONAL COST TO THE OWNER. TREES OR PLANTS REPLACED IN THE FALL THAT DIE BEFORE OR DURING THE SPRING PLANTING SEASON SHALL BE REPLACED IMMEDIATELY.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE GRADED TO A SMOOTH, UNIFORM SURFACE WITH LOOSE UNIFORMLY FINE TEXTURE INCLUDING REMOVAL OF ALL STONES GREATER THAN 1/2" STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER BEFORE PLACING TOPSOIL USING ROCKHOUND LANDSCAPE RAKE EQUIPMENT. RESEED ALL DISTURBED AREAS WITH APPROPRIATE SEED MIX.
- BED EDGES SHALL BE CUT IN A DEFINED "Y" SHAPE WITH AN APPROXIMATE 60° ANGLE TO THE GROUND AND TO A MINIMUM OF 2" DEPTH. TAKE SPECIAL CARE TO INSURE THAT PLANTING BEDS DO NOT INHIBIT DRAINAGE.
- BOTH STOCKPILED AND FURNISHED TOPSOIL SHALL BE SCREENED FROM CLAY LUMPS, BRUSH, WEEDS, LITTER, ROOTS, STONES LARGER THAN 1/2", AND OTHER EXTRANEOUS MATTER BEFORE PLACEMENT. TOPSOIL SHALL BE LOAMY, NOT CONSIST OF MORE THAN 38% CLAY AND CONFORM TO THE U.S. DEPARTMENT OF AGRICULTURE SOIL TEXTURING TRIANGLE. ANY TOPSOIL LEFT OVER AFTER PROJECT COMPLETION SHALL BE DISPOSED OF OFF-SITE.
- IF THERE IS NOT ENOUGH TOPSOIL FROM THE INITIAL STRIPPING OPERATIONS, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL AS NEEDED.
- LAWN AREAS SHALL RECEIVE A 4" MINIMUM THICKNESS OF TOPSOIL AND, AFTER LIGHT ROUNING, MEET THE GRADES AND ELEVATIONS SHOWN ON THE GRADING PLAN.
- DO NOT SEED UNTIL ACCEPTANCE OF FINISH GRADE BY THE ARCHITECT.
- MOISTEN PREPARED AREAS BEFORE SOODING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE INSTALLING SOO. DO NOT CREATE A MUDDY SOIL CONDITION.
- THE CONTRACTOR SHALL ESTABLISH A SMOOTH ACCEPTABLE LAWN INCLUDING SOIL CONDITIONING, FINE GRADING, WATERING, FILLING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING AS NEEDED. THE OWNER WILL PROVIDE A FINISHED GRADE WITHIN 5' OF FINAL GRADE.
- SEEDING MIXTURE: MIX SHALL BE 65% 3 VARIETY BLEND CREeping RED FESCUE, 20% 3 VARIETY BLEND PERENNIAL RYE AND 15% KENTUCKY BLUEGRASS BLEND. FERTILIZE WITH A NON-BURNING MEASURED RELEASE FERTILIZER, OR PAKE IN A LIGHT APPLICATION OF 12-12-12 AT A RATE OF 15 LB. PER 1,000 S.F. BEFORE SEEDING.
- SOO, IF SPECIFIED, SHALL BE A WELL-ROOTED KENTUCKY BLUE GRASS BLEND OBTAINED FROM A COMMERCIAL SOO NURSERY FREE OF DANDELIONS, CRABGRASS AND NOXIOUS WEEDS (E. WILD MUSTARD, THISTLES, QUACK GRASS, ETC.).
- DO NOT SEED OR SOO IF GROUND IS FROZEN OR EXTREMELY WET.
- LAY SOO TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOO STRIPS; DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK FROM BOARDS TO AVOID DAMAGE TO SUBGRADE OR SOO. TAMP OR ROLL LIGHTLY TO ENSURE CONTACT WITH SUBGRADE. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOO; REMOVE EXCESS TO AVOID SMOTHERING OF ADJACENT GRASS. ANCHOR SOO ON SLOPES WITH WOOD PEGS TO PREVENT SLIPPAGE.
- WATER SOO THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.
- ALL SOODING WORK SHALL BE GUARANTEED FOR ONE (1) FULL GROWING SEASON TO COMMENCE UPON FINAL ACCEPTANCE. SOO AREAS SHALL BE REPLACED IF SATISFACTORY ESTABLISHMENT DOES NOT OCCUR.
- MAINTAIN LAWNS THROUGH TWO CUTTINGS AND ASSUME FULL RESPONSIBILITY FOR A FULL AND HEALTHY GROWTH. RESEED ALL BARE SPOTS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN-UP ASSOCIATED WITH THEIR CONSTRUCTION PROCEDURES.

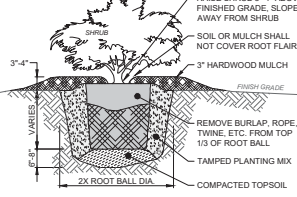


**ANNUAL AND PERENNIAL PLANTING DETAIL**  
SCALE: NONE

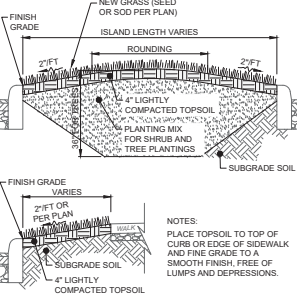


**TREE PLANTING DETAIL**  
SCALE: NONE

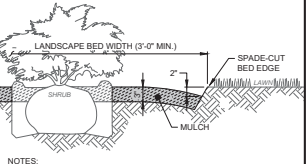
- NOTES:
- GROWN OF ROOT BALL TO BEAR THE SAME RELATION TO FINISH GRADE WHICH IT WAS GROWN AT THE NURSERY.
  - DO NOT DAMAGE ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
  - REMOVE TREE RINGS, TREE WRAP AND STAKES 1 YEAR AFTER INSTALLATION. NOTIFY OWNER PRIOR TO REMOVAL.



**SHRUB PLANTING DETAIL**  
SCALE: NONE

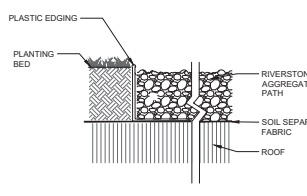


**ISLAND PLANTING DETAIL**  
SCALE: NONE

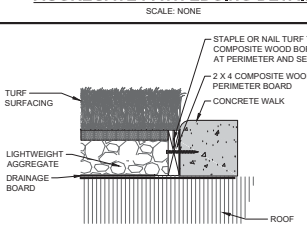


**MULCH BED DETAIL**  
SCALE: NONE

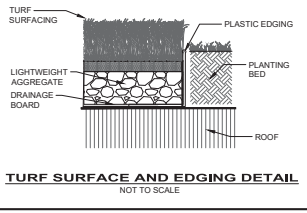
- NOTES:
- MULCH SHALL BE DOUBLE SHREDDED HARDWOOD BARK, DARK BROWN OR BLACK COLOR PER OWNER CHOICE. EXTRA FINE WITH TEXTURE AT 1-1/2" OR LESS FREE OF WEEDS, CHAFF OR OTHER FOREIGN MATERIAL.
  - MULCH SHALL BE PLACED IN ALL PLANTING AREAS SPREAD TO A SMOOTH, UNIFORM SURFACE PLANE WITH CRISP STRAIGHT AND SMOOTH CURVED MULCH BED EDGES. BED EDGES SHALL BE CUT IN "Y" SHAPE WITH APPROXIMATE 60° ANGLE TO GROUND.
  - THIS DETAIL SHOWS A SHRUB FOR REFERENCE ONLY. SEE LANDSCAPE PLAN FOR ACTUAL PLANT TYPES AND LOCATIONS, AND CONFIGURATION OF BEDS.



**AGGREGATE PATH EDGING DETAIL**  
SCALE: NONE



**TURF SAFETY SURFACE DETAIL**  
NOT TO SCALE



**TURF SURFACE AND EDGING DETAIL**  
NOT TO SCALE

**PLANT MATERIAL LIST**

| QTY                             | KEY | BOTANICAL NAME                  | COMMON NAME                    | SIZE        | NOTES    |
|---------------------------------|-----|---------------------------------|--------------------------------|-------------|----------|
| <b>TREES</b>                    |     |                                 |                                |             |          |
| 5                               | A/R | ACER R. 'RED SUNSET'            | RED SUNSET MAPLE               | 2" CAL.     | B&B      |
| 1                               | A/P | AMELANCHIER 'RAINBOW PILLAR'    | RAINBOW PILLAR SERVICEBERRY    | 1-1/2" CAL. | B&B      |
| 3                               | G/S | GLEDITSIA 'T1 STREET KEEPER'    | STREET KEEPER HONEYLOCUST      | 2" CAL.     | B&B      |
| <b>SHRUBS</b>                   |     |                                 |                                |             |          |
| 30                              | I/G | ILEX C. 'GREEN LUSTRE'          | GREEN LUSTRE JAPANESE HOLLY    | 15"         | #3 CONT. |
| 30                              | I/H | ITEA VIRGINICA 'HENRY GARNET'   | HENRY GARNET SWEETSPIRE        | 15"         | #3 CONT. |
| 10                              | J/K | JUNIPERUS CH. 'KETELEER'        | KETELEER JUNIPER               | 4"          | B&B      |
| 17                              | R/A | RHUS AROMATICA 'GRO LOW'        | GRO LOW SUMAC                  | 15"         | #3 CONT. |
| 12                              | S/P | SPIRAEA X B. 'LITTLE PRINCESS'  | LITTLE PRINCESS SPIRAEA        | 15"         | #3 CONT. |
| 33                              | S/G | SPIRAEA X B. 'GOLDFLAME'        | GOLDFLAME SPIRAEA              | 15"         | #3 CONT. |
| 60                              | T/O | THUJA O. 'AUREA'                | GOLDEN GLOBE ARBORVITAE        | 15"         | #3 CONT. |
| <b>PERENNIALS / GROUNDCOVER</b> |     |                                 |                                |             |          |
| 7                               | A/U | ARCTOSTAPHYLOS UVA-URSI         | BEARBERRY                      | 6"          | #1 CONT. |
| 93                              | C/K | CALAMAGROSTIS X 'KARL FOERSTER' | KARL FOERSTER REED GRASS       | #1          | CONT.    |
| 180                             | E/B | EPIMEDIUM 'AMBER QUEEN'         | BARRENWORT                     | 3" PLUG     | CONT.    |
| 750                             | E/F | EUCHYNOSUS F. 'COLORATUS'       | PURPLELEAF WINTERCREEPER       | 2" CELL     | FLAT     |
| 18                              | F-E | FESTUCA 'ELIJAH BLUE'           | ELIJAH BLUE FESCUE             | #1          | CONT.    |
| 118                             | H/H | HEMEROCALLIS 'HAPPY RETURNS'    | HAPPY RETURNS DAYLILY          | #1          | CONT.    |
| 19                              | H/C | HYPERICUM CALYCONUM             | AARONSBEDS ST. JOHNSWORT       | #1          | CONT.    |
| 39                              | I/M | IMPERATA CYLINDRICA 'RED BARON' | RED BARON JAPANESE BLOOD GRASS | #2          | CONT.    |
| 10                              | L/P | LIRIOPE M. 'ROYAL PURPLE'       | ROYAL PURPLE LILY TURF         | #1          | CONT.    |
| 34                              | N/W | NEPETA X F. 'WALKERS LOU'       | WALKERS LOU CATMINT            | #1          | CONT.    |
| 180                             | P-T | PACHYSANDRA P. TERMINALIS       | PACHYSANDRA                    | 2" CELL     | FLAT     |



8150 STERLING COURT  
MENTOR, OHIO 44060  
(440) 951-8000



10020 Aurora-Hudson Rd  
Streetsboro, Ohio 44224  
PH: (330) 528-3500  
www.geisohio.net

**DATES AND REVISIONS**  
4/29/2020 FINAL SITE PLAN

**NOTICE**

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**COMMERCE 4 CONVERSION**  
BEACHWOOD, OH

Drawn By RW  
Checked By RW  
Project Number 44516

LANDSCAPE DETAILS  
DRAWING NO:

**LP-2**



4/30/2026

City of Beachwood  
Planning, Zoning, and Building Departments  
RE: Traffic Review

To whom it may concern:

Chapter 1108.03 (a) (4) of the codified ordinances of Beachwood requires final site development plans to detail “*The proposed system of circulation of vehicular and pedestrian traffic, including details for connections to existing streets; types and widths of all pavements; estimates of traffic volume and plans for control of traffic in and around the development.*”

With the approved change in use from the original office building and occupancy to a conversion to 105 apartment units, retail/office and amenity on the ground floor, the volume of traffic to and from the site will be expected to decrease significantly from the existing conditions and approved use. The existing connections to Green Road and Commerce Park Road are to be maintained as-is, as they are currently designed to accommodate the volume of traffic generated from full office use.

Sincerely,

A handwritten signature in black ink, appearing to read 'BK', with a horizontal line underneath.

Brandon Kline  
Vice President of Design  
Geis Construction, LLC

April 28, 2026

Brandon Kline, Architect  
Vice President of Design  
Geis Construction | A Division of Geis Companies  
2017 East 9<sup>th</sup> Street, Suite 200  
Cleveland, Ohio 44115



**BARBER & HOFFMAN, INC.**  
*Consulting Engineers*

Re: Commerce Park IV Conversion – Parking Garage  
B&H #26081

Dear Brandon,

Barber & Hoffman, Inc. (B&H) previously completed a structural assessment of the parking garage at Commerce Park IV and V (23240 Chagrin Boulevard, Beachwood, Ohio) in March 2024, with findings documented in a report dated March 18, 2024. A follow-up assessment was performed in November 2025, and structural repair documents were issued on December 17, 2025.

B&H is currently engaged by Geis Companies to prepare construction documents for the conversion of Commerce Park IV, including implementation of required garage repairs in accordance with the 2024 Ohio Existing Building Code (OEBC).

As part of this effort, a structural load analysis will be performed to evaluate the capacity of the existing garage to support fire apparatus vehicles, along with ordinary vehicular loading, in the locations agreed upon between Geis and the Beachwood Fire Department. The majority of Fire Access will be provided in areas of locations that are pavement on grade, and not on the elevated structure, not requiring reinforcement for their apparatus. From this access route, there will be a (2) Bay Area on the Northeast Corner of the Building that will require structural reinforcement, and that scope and detailing will be included within the construction drawings for Building Permit. The analysis will consider applicable code requirements, vehicle loading (as provided by the Beachwood Fire Department and used for evaluation), and existing structural conditions.

If the structure is determined to be inadequate to support such loading, fire apparatus access will be restricted to at-grade pavement areas, or solely in areas that have been reinforced to meet that loading. Final access configurations have been coordinated with and approved by the Beachwood Fire Department.

Please call if you have any questions.

Sincerely,

BARBER & HOFFMAN, INC.

James Colella, P.E.  
Associate Principal

Enclosure: 2024 Commerce Park IV V Garage Assessment.pdf  
2025-12-17 – Commerce Garage Repairs – 100% Bid Documents.pdf

JMC/jmc



**BARBER & HOFFMAN, INC.**  
*Consulting Engineers*

## Commerce Park 4 & 5 Parking Garage Structural Assessment

Prepared For:  
Mr. Sean Ryle (CLE PM, LLC)  
6161 Oak Tree Boulevard, Suite 250  
Independence, OH 44131

Prepared By:  
Matt Dacek, PE (Barber & Hoffman)

Project No. 24-024

Date: March 18, 2024



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## **Introduction:**

At the request of Mr. Sean Ryle, Barber & Hoffman, Inc. performed a structural assessment of the Commerce Parks IV & V Parking Garages, located at 23240 Chagrin Boulevard, Beachwood, Ohio 44122, during the days of March 11<sup>th</sup>, 12<sup>th</sup>, and 14<sup>th</sup>, 2024. Per the scope of services listed in the agreement dated April 26, 2023, our structural assessment included the following:

- Review of existing structural drawings (as available).
- Conduct site visits to visually observe the condition of the existing slab, beams, columns, walls, joints, and traffic membrane.
- Perform limited non-destructive soundings of topside and underside surfaces to approximate quantities of deteriorations.
- Document observations with photographs indicating different types of deteriorations.
- Develop a material testing program (if required).
- Formulate a prioritized repair plan.
- Prepare an opinion of probable repair costs.
- The scope of this assessment did **not** include structural calculations and repair documents, extraction nor testing of representative construction materials, façade assessment and assessment of Architectural, Mechanical, Electrical, Fire Protection, Parking Equipment, or other non-structural items.

The quantities of deteriorations listed in this report are based off soundings and visual observations made during the assessment. Areas that could not be accessed for review at the time of the survey include topside sections of slab in several locations, which were covered by landscaping. Deviations between the approximate listed quantities and final construction totals will vary due to the severity of deterioration, unforeseen conditions, or limited accessibility (such as parked vehicles and landscaping), or presence of an existing traffic coating during the time of the assessment.



## **General Information:**

The 2-story garages are located at 23240 Chagrin Boulevard, Beachwood, Ohio 44122, an overview of general information regarding the garage is as follows:

- Original Construction: Commerce 4 Garage - 1981 / 1982  
Commerce 5 Garage – 1988 / 1989
- Existing Documents: Original Construction Documents prepared by Keeva J. Kekst Architects (dated December 18, 1981 & June 13, 1988), and previous repair drawings prepared by Barber & Hoffman dated July 24, 1997.
- Combined Footprint of Garages: 150,000 ft<sup>2</sup> (approx.)
- Total Area of Garages: 270,000 ft<sup>2</sup> (approx.)
- Approx. Number of Parking Spaces: 382 (below grade)
- Level No. / Types: One framed level above one slab-on-ground level.
- Framed Construction Type: Post-tensioned concrete two-way slab supported by concrete columns.



## Concrete Observations:

Overall, the underside of the concrete slab varies from fair to good condition with most deteriorations being observed in Commerce 4 Garage and along expansion joints. The observed deteriorations consisted of spalling (**Photos 1 & 2**), cracking, and efflorescence (**Photo 3**). At some locations, previous repairs were observed, with conditions of the repair varying. Patching or potential epoxy injections appear to be previously performed at cracks (**Photo 4**), however in many instances, the patch material was cracked and efflorescence was present (**Photo 5**). We recommend deteriorated sections of slab be repaired and cracks (surrounded by sound material) be epoxy injected.

The slab topside over the Commerce 4 Garage is in fair condition and appears to have more deterioration than the underside (**Photos 6 & 7**), which is expected given the direct exposure to weather and de-icing chemicals. In contrast, the slab topside over the Commerce 5 Garage is in good condition. Areas surrounding the expansion joints, construction joists, and joints where the formed slab meet the slab-on-ground have more deterioration in comparison to typical conditions (**Photos 8 – 10**). Several areas which appeared to have been previously repaired or now have a damaged traffic coating, are unsound, cracked, and spalled (**Photo 11**). Additionally, several sections of curbs and sidewalks have spalled around Commerce 4 (**Photos 12 & 13**), though these are not structural components they still present a tripping hazard. We recommend deteriorated sections of the slab be repaired.

In one location, an exterior concrete stair tread has eroded (**Photo 14**). This presents a tripping hazard and recommend it be repaired.

In a few instances, exposed post-tension tendons were observed with deteriorated strands and sheathing. It is difficult to determine the number of deteriorated or broken tendons, until deteriorated concrete is removed. We recommend designating a contingency for repair of broken tendons.

The first level slab-on-ground appeared to be in good condition, with minimal cracking (**Photo 15**), with no immediate tripping hazards observed. Slab-on-ground repairs are typically low priority repairs except for tripping hazards. We recommend all cracks be routed and sealed, and spalled areas be repaired.

Given the two-way slab construction of the garage, concrete beams did not occur, only thickened slab edges at the transition of the garages. Spalling is likely the clear cover material was observed (**Photo 16**). We recommend all spalled areas be repaired.

The concrete columns are typically in good condition with minor spalling near the bottoms (**Photo 17**). This is expected in parking garages, as salt and de-icing chemicals tend to splash onto the bottoms of columns from vehicular traffic. We recommend deteriorated sections of columns be repaired.

The concrete walls were in good condition with typical hairline vertical cracking (**Photo 18**), and minimal spalling (**Photo 19**) in some locations where water infiltrated from the joint above. Vertical hairline cracks observed in the walls were at typical intervals of approximately 20'-0". These cracks are common in concrete walls, resulting from natural shrinkage of the material. The joints above the perimeter walls will require replacement, which may require removal of slab-on-ground sections for access and repair. We recommend all spalled surfaces be repaired, and replacement of all deteriorated joints above.



### **Masonry Observations:**

Masonry partition walls are in overall good condition. Observed deterioration typically consisted of efflorescence from cracks or joints above. In one location along the northwest wall of Commerce 4 Garage, significant dampness and efflorescence was observed over the entirety of the wall (**Photo 20**). This indicates moisture is likely infiltrating the full height of the wall. Additional investigation will be required at this location to determine the cause of the excess moisture. At minimum, we recommend all efflorescence be cleaned off and joints or deterioration above the walls be repaired or replaced.

Minimal spalling was observed at exterior stairwells (**Photo 21**), we recommend all spalled units be replaced.

### **Steel Observations:**

The steel observed in the garage consisted of stainless-steel angles in the Commerce 4 Garage along the north exterior wall. The steel angles are not listed in the available existing drawings, however, appear to be adding supplemental support to the slab. In multiple locations, bolts were observed to be missing or dislodged (**Photos 22 & 23**). It is our opinion these angles may have been added for additional support, however are not accounting for movement of the slab, as an expansion joint is present.

### **Non-Structural Observations:**

The sealant joints throughout the topside of the garage are in fair to poor condition. Joints typically consisted of horizontal joints and cove joints (**Photo 24**) along the sidewalks, stairs, and curbs on the topside of slab and along the perimeter where the framed slab transitions to the slab-on-ground. The typical life span of sealant joints is approximately 5-years. We recommend implementing a maintenance program to replace the sealant joints in periodic phases to reduce the amount of water infiltration.

Expansion joints throughout the garage are in poor condition. Typically, daylight can be seen through the joints (**Photo 25**) as well as water infiltration during inclement weather. We recommend all expansion joints be replaced once the surrounding concrete has been repaired. Full replacement of the joints will require removing sections of the sidewalk at some locations.

A vehicular traffic membrane was observed on the topside of the framed slab of the garage. Per existing drawings, a traffic membrane with varying thicknesses was installed during 1997 repairs. Currently, the traffic membrane is particularly worn at non-drive lane areas with some exceptions (**Photo 26**). Given the age and condition of the coating, we recommend full removal and replacement over the framed slab surfaces. Additionally, we recommend conducting semi-annual maintenance to pressure wash the top of slab every spring to mitigate corrosive materials left during the winter. The initial cost a new traffic membrane is significantly high, however it will prolong the life span of the garage, reduce the amount of corrosive chemical to infiltrate the concrete, and reduce water infiltration at the joints.

Standing water was observed along the north elevation on the framed slab (**Photo 27**). Per existing drawings, it appears this area may have been intended to be an exit/entrance ramp; however, the current concrete parapet and slope of neighboring property does not make that feasible. Standing water can cause deterioration and add unintended load to the structural framing. We recommend installing drain(s) at this location to reduce the occurrence of standing water. Additional review by a plumbing consultant will be required for a opinion of probably cost.



### **Material Testing:**

Material testing consists of several tests to determine if deterioration is happening within the concrete elements of the garage. Over time, concrete members exposed to weathering and vehicular traffic may experience an accumulation of harmful chemicals, breakdowns of materials, and micro-cracking. We typically provide this recommendation when a garage is showing signs of significant deterioration. Given the overall good condition and age of the garage, and ongoing protection from the existing traffic membrane, it is our opinion material testing is not required at this time.

### **Conclusion:**

The overall condition of the garage is good to fair, however if repairs are not completed periodically, the condition will diminish at a quicker pace. We recommend a maintenance plan be implemented to repair the observed deteriorations listed in this report. While we recommend repairing all items immediately, we understand the Owner's budget constraints, therefore, to indicate our opinion of urgency, we categorized the recommended repairs priorities:

- **Priority A** indicates that the recommendation should be implemented within the next year.
- **Priority B** indicates that the recommendation should be implemented within the next 3 years.
- **Priority C** indicates that the recommendation should be implemented within the next 5 years.

See attachments for a breakdown of the twelve (11) identified major work items by priorities:

If you have further questions, please feel free to contact us.

BARBER & HOFFMAN, INC.



Matt Dacek, PE

Enclosures: Report / Photographs / Repair Items (Quantities) / Probable Cost Summary





Photo 1

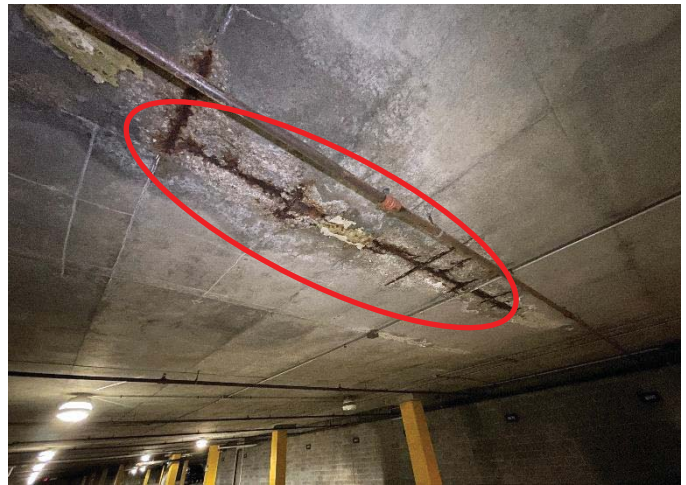


Photo 2



Photo 3



Photo 4



Photo 5



Photo 6





Photo 7



Photo 8



Photo 9



Photo 10



Photo 11



Photo 12





Photo 13



Photo 14



Photo 15



Photo 16



Photo 17

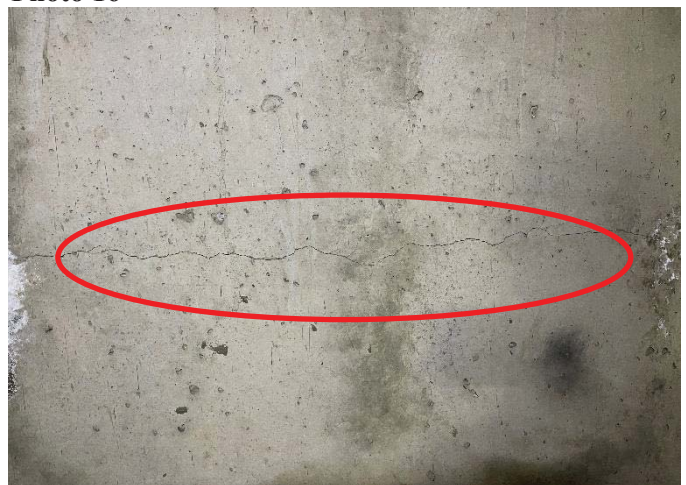


Photo 18





Photo 19



Photo 20



Photo 21



Photo 22



Photo 23



Photo 24





**Photo 25**



**Photo 26**



**Photo 27**



## **Item #1: Slab Deterioration – Supported Slab**

**Problem:** Spalling, delaminations, and cracks were observed on the top (including sidewalks and curbs) and undersides of the slab on the framed level. More extensive deterioration was observed around the expansion joints.

**Cause:** Spalling and delaminations are due to corrosion of the steel reinforcement in the slab. In parking garages, this is typically due to the penetration of chloride-contaminated water into the concrete members. Vehicles bring in snow and slush in the winter months which melt and penetrate at joints and saturate the concrete members located below.

**Recommendation:** Deteriorated concrete should be removed to sound concrete. Patch perimeters should be saw cut to a depth of ½ inch. Exposed reinforcing steel should be cleaned to bare metal and coated with an anti-corrosion coating. The substrate should be prepared per the patching manufacturer's recommendation and the area patched with a cementitious repair mortar. See ICRI 320.1R. Additionally, in areas where noted, the concrete infill shall be removed to access the corroded supporting steel. Cracks are to be epoxy injected as specified in ACI RAP-1.

**References:** *ICRI 320.1R: Guide for Selecting Application Methods for the Repair of Concrete*  
*ACI RAP-2: Crack Repair by Gravity Feed with Resin*  
*ACI RAP-4: Surface Repair using Form and Pour*  
*ACI RAP-7: Spall Repair of Horizontal Surfaces*

**Probable Cost:**

- Priority A: Concrete Slab (Underside) Repair – \$240,000**  
Cost Presumes: 1,350 Square Feet of Repairs.
- Priority A: Concrete Slab (Underside) Crack Repair – \$10,500**  
Cost Presumes: 420 Linear Feet of Repairs.
- Priority A: Concrete Slab (Topside) Repair – \$196,000**  
Cost Presumes: 1,650 Square Feet of Repairs.
- Priority A: Concrete Slab (Topside) Crack Repair – \$7,500**  
Cost Presumes: 300 Linear Feet of Repairs.
- Priority A: Concrete Curb Repair – \$5,000**  
Cost Presumes: 1,000 Square Feet of Repairs.
- Priority A: Concrete Sidewalk Repair – \$10,500**  
Cost Presumes: 200 Square Feet of Repairs.

**Notes:**

1. These quantities do not account for unseen conditions, such as broken post-tensioning tendons within the slab.
2. Topside quantities may exceed listed values once all traffic coating is removed.



**Item #2: Slab Deterioration – Slab-On-Ground**

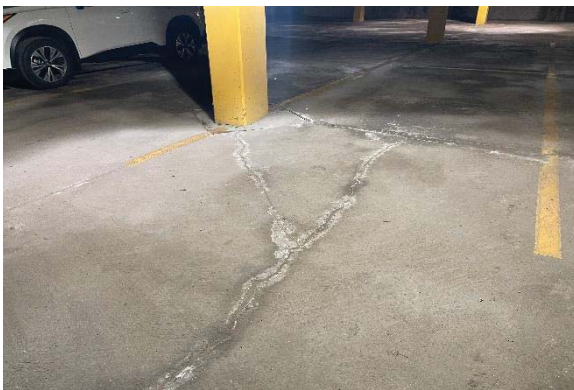
**Problem:** Cracks and spalls throughout the first level slab-on-ground were observed.

**Cause:** Spalling, delaminations, and cracking are due to corrosion of the steel reinforcement in the slabs, as well as possible shifting or heaving in soil below. Deterioration of reinforcement is typically due to the penetration of chloride-contaminated water into concrete members.

**Recommendation:** Cracks shall be routed and sealed per current repair standards.

**References:** *ICRI 320.1R: Guide for Selecting Application Methods for the Repair of Concrete*  
*ACI RAP-4: Surface Repair using Form and Pour*  
*ACI RAP-7: Spall Repair of Horizontal Surfaces*

**Probable Cost:** **Priority C: Slab-On-Ground Repair – Crack Repair (Sealant) – \$10,000**  
Cost Presumes: 500 Linear Feet of Beam Repairs.  
**Priority C: Slab-On-Ground Replacement (Over Wall Joints) – \$50,000**  
Cost Presumes: \$1,000 Linear Feet of Beam Repairs.



### Item #3: Concrete Column Deterioration

**Problem:** Spalling and delaminations were observed at the faces of the concrete columns.

**Cause:** Spalling and delaminations are due to corrosion of the embedded steel reinforcement in the concrete columns or not enough cover concrete being provided over the reinforcement. In parking garages, this is typically due to the chloride-contaminated water ponding at the base or being splashed onto the base of the concrete columns.

**Recommendation:** Deteriorated concrete should be removed to sound concrete. Patch perimeters should be saw cut to a depth of ½ inch. Exposed reinforcing steel should be cleaned to bare metal and coated with an anti-corrosion coating. The substrate should be prepared per the patching manufacturer's recommendation and the area patched with a cementitious repair mortar.

**References:** *ICRI 320.1R: Guide for Selecting Application Methods for the Repair of Concrete*  
*ACI RAP-4: Surface Repair using Form and Pour*  
*ACI RAP-6: Vertical and Overhead Spall Repair by Hand Application*

**Probable Cost:** **Priority B: Concrete Column Repairs – \$8,200**  
Cost Presumes: 65 Square Feet of Repairs.



**Item #4: Concrete Wall Deterioration**

**Problem:** Spalling, delaminations, and cracks were observed throughout the first level walls

**Cause:** Spalling at walls typically occurs from water saturation from deteriorated joints above. Deterioration is in the form of vertical cracks and minimal spalling is typical in long concrete walls. If vertical control joints are not installed during the original construction of the wall, natural stresses will create vertical cracks within the wall approximately 20'-0" apart.

**Recommendation:** Where spalling occurs, the substrate should be prepared per the patching manufacturer's recommendation and the area patched with a cementitious repair mortar.

**References:** *ICRI 320.1R: Guide for Selecting Application Methods for the Repair of Concrete*  
*ACI RAP-1: Structural Crack Repair by Epoxy Injection*  
*ACI RAP-4: Surface Repair using Form and Pour*  
*ACI RAP-6: Vertical and Overhead Spall Repair by Hand Application*

**Probable Cost:** **Priority B: Concrete Wall Repair – Spalling – \$22,000**  
Cost Presumes: 165 Square Feet of Repairs.



**Item #5: Masonry Wall Deterioration**

**Problem:** Cracking of CMU face shells and efflorescence was observed along the exterior stairwell and interior walls of the garage.

**Cause:** Cracking is typically caused by expansion and contraction of the CMU due to change in weather cycles. Units are susceptible to absorbing moisture which will result in expansion of the block. When built around more rigid materials (i.e. concrete column) or other structures, the difference in movement will cause cracking.

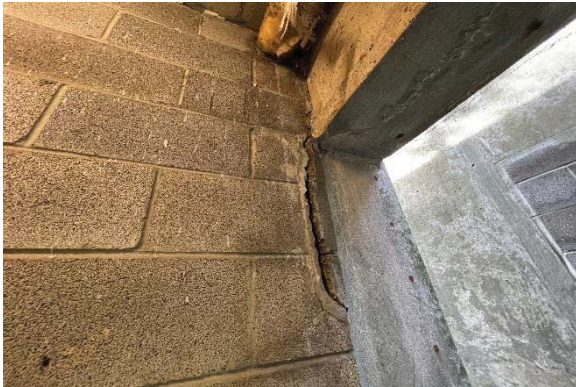
**Recommendation:** Mortar joints and faces of block should be repointed when possible. Excessively spalled block is recommended to be replaced.

**Reference:** *NCMA Tek 8-1A: Maintenance of Concrete Masonry Walls*

**Probable Cost:**

- Priority B: Masonry Wall Repair – Unit Replacement - \$2,000**  
Cost Presumes: 15 Units of Repairs.
- Priority B: Masonry Wall Repair – Re-pointing - \$1,250**  
Cost Presumes: 50 Linear Feet of Repairs.
- Priority C: Masonry Wall Repair – Removal of Efflorescence - \$5,000**  
Cost Presumes: 500 Square Feet of Repairs.

**Notes:** 1. This cost / quantity does not include additional potential coring and testing of the wall and soils beyond.



**Item #6: Steel Angle Replacement**

**Problem:** Surface corrosion of steel framing was observed near expansion joints. Connection to masonry wall within the mechanical room is unknown and potentially inadequate.

**Cause:** Corrosion of steel members is typically due to the exposure to chloride-contaminated water. Vehicles bring in snow and slush in the winter months which melt and splash onto the steel or penetrate joints, saturating the steel.

**Recommendation:** The steel members should be cleaned and painted per SSPC-SP2 standards and painted with an epoxy coating formulated to withstand atmospheric / exterior conditions.

**Reference:** *Surface Preparation Standard No. 2 (SSPC-SP2): Hand Tool Cleaning*

**Probable Cost:** **Priority A: Steel Angle Replacement – \$5,000**  
Cost Presumes: 12 Units to be Replaced.

**Note:** 1. This cost / quantity does not include potential revisions after an engineering analysis and detailing is completed.



**Item #7: Sealant Joint Deterioration**

**Problem:** Deteriorated horizontal sealant joints and cove joints at the topside of slab typically at sidewalks, curbs, and transitions to slab-on-ground.

**Cause:** Cracking and delaminations of the sealant material is typically due to exposure to chloride-contaminated water deposited (from vehicles and the impact of vehicle tires) over a long period of time. The average expected life of sealant joints is 10 – 15 years.

**Recommendation:** A program should be implemented to replace the aging sealant joints. Our estimate conservatively assumes the replacement of all joints in the garage.

**Reference:** *ACI 224.3R: Joints in Concrete Construction*

**Probable Cost:** **Priority C: Remove & Replace Sealant – \$13,500**  
Cost Presumes: 700 Linear Feet of Repairs.  
**Priority C: Remove & Replace Cove Joint Sealant – \$53,000**  
Cost Presumes: 2,700 Linear Feet of Repairs.



## Item #8: Expansion Joint Deterioration

**Problem:** Several of the elastomeric concrete expansion joint in the facility were observed to be exhibiting wear in the form of torn gland and cracked nosing material. Evidence of water penetration through the expansion joints was observed at several locations.

**Cause:** Cracking and delaminations of the nosing material is typically due to impact of vehicle tires over a long period of time. In parking garages, the typical service-life of elastomeric concrete expansion joints is 10 to 15 years.

**Recommendation:** New expansion joints will be required at all locations of existing deteriorated expansion joints. Expansion joints shall be installed per manufacturer's specifications.

**Probable Cost:** **Priority A: Remove & Replace Expansion Joint – \$128,000**  
Cost Presumes: 640 Linear Feet of Repairs.

**Notes:** 1. This quantity / cost does not account removal of landscaping, sidewalks, and interior flooring for access to replace joints.



## Item #9: Traffic Coating – Repair, Removal, & Replacement

**Problem:** Deterioration or lack of a traffic coating is allowing water and chloride contaminated water to enter the tee flanges. The purpose of the traffic coating is to prevent water from entering the tee flanges. Currently a traffic coating is present but has been observed to be deteriorated or non-existent at several locations throughout the topside of the framed slab.

**Cause:** Rigid membrane will not move with the concrete structure. As the concrete expands and contracts from temperature swings, the traffic membrane cracks. In addition, normal wear and tear from tires over time cause weak spots and eventually tear the coating.

**Recommendation:** Install a new coating over uncoated areas and over new concrete repairs. In areas where the existing material is sound, we recommend contacting a product representative to determine if the coating is still intact or if it requires repair or replacement.

**References:** *ICRI 710.2: Guide for Horizontal Waterproofing or Traffic Surfaces*

**Probable Cost:** **Priority C: New Traffic Coating – \$1,200,000**  
Cost Presumes: 1,200 Square Feet Repairs.

**Notes:** 1. This quantity / cost is assuming all traffic coating is being removed and replaced.



**Item #10: Slab Deterioration – Post-Tension Tendon Repairs**

**Problem:** Deterioration of internal post-tension tendons within the framed slab.

**Cause:** Penetration of chloride-contaminated water into the concrete members, deteriorated the protective sheathing then eventually the steel tendons. Vehicles bring in snow and slush in the winter months which melt and penetrate at joints and saturate the concrete members located below.

**Recommendation:** Determine the location of deterioration, splice the tendons, and re-anchor the tendon to the estimated design strength.

**Probable Cost:** **Priority A: Post Tension Tendon Repairs (Allowance) – \$100,000**  
Cost Presumes: 1 Lump Sum of Repairs.

**Notes:** 1. The number of deteriorated tendons may greatly vary and cannot be verified until repairs have begun, and deteriorated material is removed.



## Commerce Park 4 & 5 Garages – Probable Cost Summary

### Priority A

| <b>Priority A Items: 1, 2, 6, 8, 10</b>        | <b><u>Probable Cost</u></b> |
|--|-----------------------------|
| Priority A: Concrete Slab (Topside) Repair –   | \$240,000                   |
| Priority A: Concrete Slab (Underside) Repair – | \$196,000                   |
| Priority A: Concrete Curb Repair –             | \$5,000                     |
| Priority A: Concrete Sidewalk Repair –         | \$10,500                    |
| Priority A: Steel Angle Replacement -          | \$5,000                     |
| Priority A: Remove & Replace Expansion Joint – | \$128,000                   |
| Priority A: Post-Tension Tendon Repair -       | \$100,000                   |
| <b>Total</b>                                   | <b>\$684,500</b>            |

### Priority B

| <b>Priority B Items: 1, 3, 4, 5</b>                  | <b><u>Probable Cost</u></b> |
|--|-----------------------------|
| Priority B: Concrete Slab (Topside) Crack Repair –   | \$7,500                     |
| Priority B: Concrete Slab (Underside) Crack Repair – | \$10,000                    |
| Priority B: Concrete Column Repairs –                | \$8,200                     |
| Priority B: Concrete Wall Repair – Spalling –        | \$22,000                    |
| Priority B: Masonry Wall Repair – Re-pointing -      | \$1,250                     |
| Priority B: Masonry Wall Repair – Unit Replacement - | \$2,000                     |
| <b>Total</b>   | <b>\$51,450</b>             |

### Priority C

| <b>Priority C Items: 2, 5, 7, 9</b>                          | <b><u>Probable Cost</u></b> |
|--|-----------------------------|
| Priority C: Slab-On-Ground Repair – Crack Repair (Sealant) – | \$10,000                    |
| Priority C: Slab-On-Ground Replacement (Over Wall Joints) –  | \$1,000                     |
| Priority C: Masonry Wall Repair – Removal of Efflorescence – | \$22,000                    |
| Priority C: Remove & Replace Sealant –                       | \$23,500                    |
| Priority C: Remove & Replace Cove Joint Sealant –            | \$53,000                    |
| Priority C: New Traffic Coating –                            | \$1,200,000                 |
| <b>Total</b>   | <b>\$1,331,500</b>          |

**Note:** This opinion of probable cost does not include engineering fees, permit fees, mobilization, and testing / inspection during construction. We also recommend the Owner budget approximately 15% of total construction cost as a contingency.



# COMMERCE IV & V GARAGE REPAIRS

OWNER: SOLSIDEN WANGARD FAMILY OFFICE

LOCATION: 23240 CHAGRIN BLVD.  
BEACHWOOD, OH 44122

ISSUED FOR: 100% BID DOCUMENTS

## INDEX OF DRAWINGS:

|         |   |
|---------|---|
| C1-01   | COVER SHEET   |
| S1-01   | GENERAL NOTES & BID QUANTITIES                                      |
| S2-IVT  | STREET LEVEL FRAMING PLAN - IV - TOPSIDE REPAIRS                    |
| S2-IVU  | STREET LEVEL FRAMING PLAN - IV - UNDERSIDE REPAIRS                  |
| S2-VT   | STREET LEVEL FRAMING PLAN - V - TOPSIDE REPAIRS                     |
| S2-VU   | STREET LEVEL FRAMING PLAN - V - UNDERSIDE REPAIRS                   |
| S2-VPTU | STREET LEVEL PARTIAL FRAMING PLAN - V - TOPSIDE & UNDERSIDE REPAIRS |
| S3-01   | REPAIR DETAILS  |
| S3-02   | REPAIR DETAILS  |
| S3-03   | REPAIR DETAILS  |



 LOCATION MAP



STREET VIEW

SEAL



BARBER & HOFFMAN, INC.



**BARBER & HOFFMAN, INC.**  
Consulting Engineers  
Cleveland, OH  
Cincinnati, OH  
Columbus, OH  
Cleveland, OH 44115-1257  
216-875-0100 (F) 216-875-0111  
barberhoffman.com

PROJECT NAME:  
**COMMERCE IV & V  
GARAGE REPAIRS**

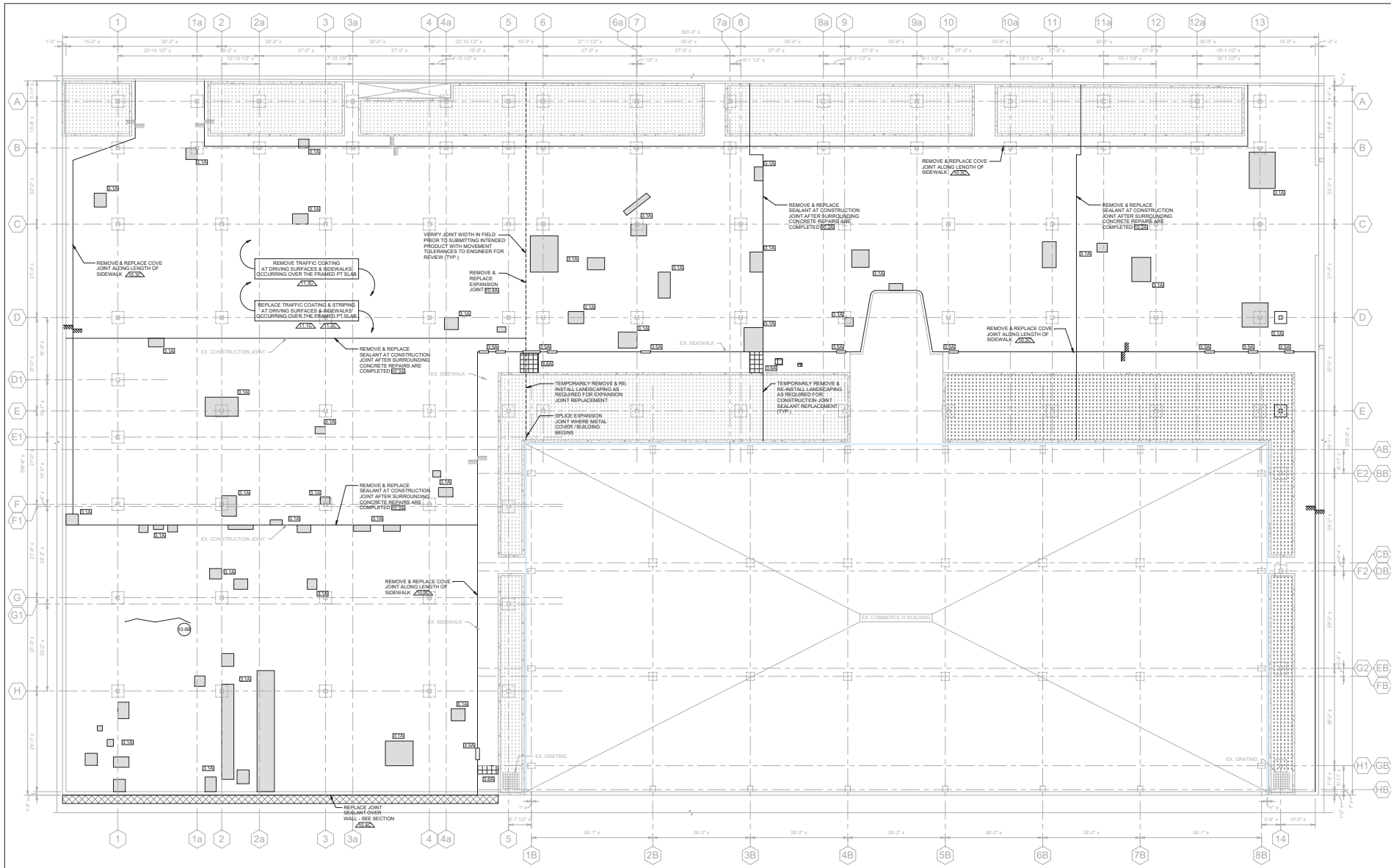
PROJECT ADDRESS:  
**23240 CHAGRIN BLVD.  
BEACHWOOD, OH  
44122**

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| DRAWN BY       | LJP          |
| CHECKED BY     | MCD          |
| DRAWING SCALE  | 1/8" = 1'-0" |
| PROJECT NUMBER | 25-181       |
| DRAWING TITLE  | COVER SHEET  |

DATE: DECEMBER 17, 2025  
DRAWING NUMBER:  
**C1-01**  
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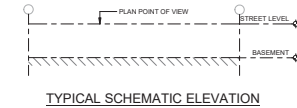




STREET LEVEL FRAMING PLAN - IV - TOPSIDE  
3/32" = 1'-0"

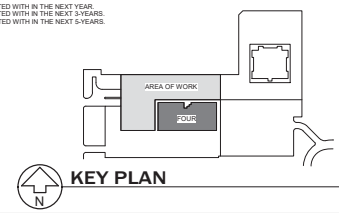
- NOTES:**
1. WORK ITEMS SHOWN ARE ONLY TO REPRESENT TYPES OF DETEIORATION AND APPROXIMATE LOCATIONS THAT REQUIRE REPAIR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL EXTENT AND LOCATION OF REPAIR AREAS. SUBJECT TO VERIFICATION BY THE ENGINEER.
  2. THE CONTRACTOR SHALL CONTACT THE ENGINEER IF EXISTING CONDITIONS VARY FROM CONSTRUCTION DOCUMENTS.
  3. SEE DETAILS FOR REPAIR INFORMATION OF EACH WORK ITEM.
  4. SEE GENERAL NOTES SHEET FOR REPAIR QUANTITIES AND PRIORITIES.
  5. SURFACES COVERED BY LANDSCAPING WERE NOT REVIEWED DURING THE ASSESSMENT AND ARE ASSUMED TO BE IN ADEQUATE CONDITION.
  6. EXISTING CONSTRUCTION CONSISTS OF 8" POST TENSIONED SLAB.

- LEGEND:**
- ▭ PARTIAL/POTENTIAL FULL DEPTH SLAB REPAIR - WORK ITEMS 3.1 & 3.3.
  - EXPANSION JOINT REPLACEMENT - WORK ITEM 10.4.
  - ▨ EXISTING LANDSCAPING TO REMAIN, UNLESS NOTED OTHERWISE.



| PRIORITY LEGEND          |                          |                          |
|--------------------------|--------------------------|--------------------------|
| PRIORITY A               | PRIORITY B               | PRIORITY C               |
| 1.1-1.2 WORK ITEM 3.1    | 1.1-1.2 WORK ITEM 6.1    | 1.1-1.2 WORK ITEM 3.4    |
| 1.3-1.4 WORK ITEM 3.2    | 1.3-1.4 WORK ITEM 7.1    | 1.3-1.4 WORK ITEM 10.1   |
| 1.5-1.6 WORK ITEM 3.3    | 1.5-1.6 WORK ITEM 10.4   | 1.5-1.6 WORK ITEM 10.2   |
| 1.7-1.8 WORK ITEM 3.5    | 1.7-1.8 WORK ITEM 10.4   | 1.7-1.8 WORK ITEM 10.5   |
| 1.9-1.10 WORK ITEM 3.6   | 1.9-1.10 WORK ITEM 10.6  | 1.9-1.10 WORK ITEM 11.1  |
| 1.11-1.12 WORK ITEM 4.1  | 1.11-1.12 WORK ITEM 12.1 | 1.11-1.12 WORK ITEM 11.2 |
| 1.13-1.14 WORK ITEM 10.2 | 1.13-1.14 WORK ITEM 12.1 | 1.13-1.14 WORK ITEM 11.3 |
| 1.15-1.16 WORK ITEM 10.4 | 1.15-1.16 WORK ITEM 12.2 | 1.15-1.16 WORK ITEM 12.3 |

**PRIORITY LEGEND NOTES:**  
 1. THIS LEGEND CONTAINS ALL WORK ITEMS. ALL WORK ITEMS LISTED MAY NOT APPEAR ON EACH SHEET. SEE PLAN.  
 2. REPAIRS OCCURRING UNDER DESIGNATED PRIORITIES ARE RECOMMENDED TO BE IMPLEMENTED WITHIN THE FOLLOWING TIMEFRAME:  
 PRIORITY A - IMPLEMENTED WITHIN THE NEXT YEAR.  
 PRIORITY B - IMPLEMENTED WITHIN THE NEXT 3-YEARS.  
 PRIORITY C - IMPLEMENTED WITHIN THE NEXT 5-YEARS.



SEAL

BARBER & HOFFMAN, INC.  
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 Consulting Engineers  
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 barberhoffman.com

PROJECT NAME:  
**COMMERCE IV & V  
 GARAGE REPAIRS**

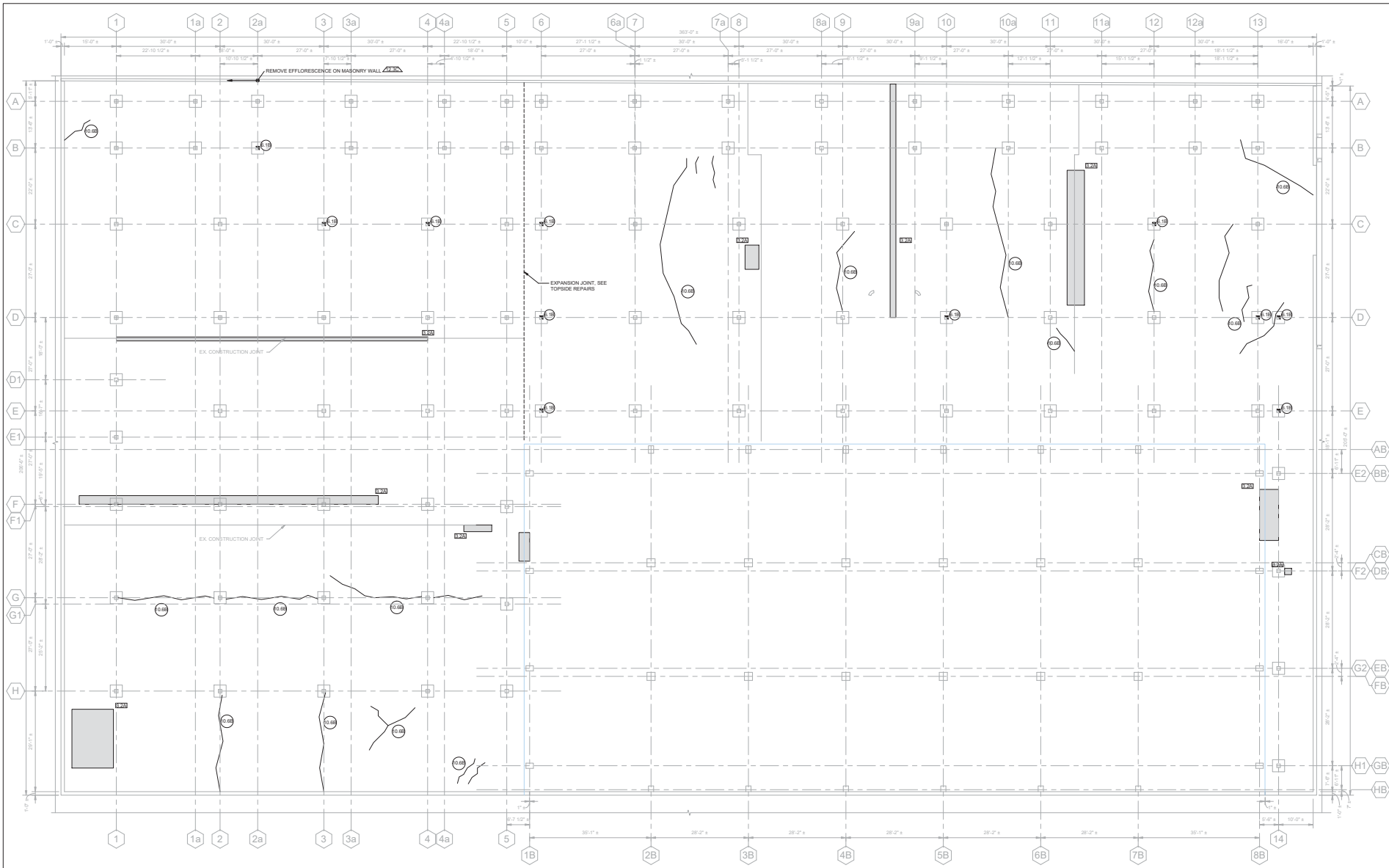
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**23240 CHAGRIN BLVD.  
 BEACHWOOD, OH  
 44122**

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DRAWN BY: LJP  
 CHECKED BY: MCD  
 DRAWING SCALE: As Indicated  
 PROJECT NUMBER: 25-101  
 DRAWING TITLE:  
**STREET LEVEL  
 FRAMING PLAN - IV -  
 TOPSIDE**

DATE: DECEMBER 17, 2025

DRAWING NUMBER:  
**S2-IVT**  
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**STREET LEVEL FRAMING PLAN - IV - UNDERSIDE**  
3/32" = 1'-0"

- NOTE:**
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  - SEE GENERAL NOTES SHEET FOR REPAIR QUANTITIES AND PRIORITIES.
  - SURFACES COVERED BY LANDSCAPING WERE NOT REVIEWED DURING THE ASSESSMENT AND ARE ASSUMED TO BE IN ADEQUATE CONDITION.
  - EXISTING CONSTRUCTION CONSISTS OF 8" POST TENSIONED SLAB.

**LEGEND**

|  |  |
|--|--|
|  | SLAB REPAIR - PARTIAL/FULL DEPTH - WORK ITEMS 3.2, 3.3, & 4.1. |
|  | CONCRETE WALL REPAIR - WORK ITEM 7.1                           |
|  | CONCRETE (SLAB) CRACK REPAIR - WORK ITEM 10.6                  |
|  | CONCRETE COLUMN REPAIR - WORK ITEMS 6.1.                       |

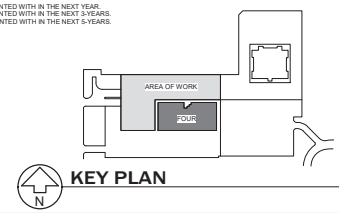


**TYPICAL SCHEMATIC ELEVATION**

| PRIORITY LEGEND |                |                |
|-----------------|----------------|----------------|
| PRIORITY A      | PRIORITY B     | PRIORITY C     |
| WORK ITEM 10.1  | WORK ITEM 6.1  | WORK ITEM 2.2  |
| WORK ITEM 10.2  | WORK ITEM 7.1  | WORK ITEM 2.3  |
| WORK ITEM 10.3  | WORK ITEM 7.2  | WORK ITEM 2.4  |
| WORK ITEM 10.4  | WORK ITEM 7.3  | WORK ITEM 2.5  |
| WORK ITEM 10.5  | WORK ITEM 7.4  | WORK ITEM 2.6  |
| WORK ITEM 10.6  | WORK ITEM 7.5  | WORK ITEM 2.7  |
| WORK ITEM 10.7  | WORK ITEM 7.6  | WORK ITEM 2.8  |
| WORK ITEM 10.8  | WORK ITEM 7.7  | WORK ITEM 2.9  |
| WORK ITEM 10.9  | WORK ITEM 7.8  | WORK ITEM 2.10 |
| WORK ITEM 10.10 | WORK ITEM 7.9  | WORK ITEM 2.11 |
| WORK ITEM 10.11 | WORK ITEM 7.10 | WORK ITEM 2.12 |
| WORK ITEM 10.12 | WORK ITEM 7.11 | WORK ITEM 2.13 |
| WORK ITEM 10.13 | WORK ITEM 7.12 | WORK ITEM 2.14 |
| WORK ITEM 10.14 | WORK ITEM 7.13 | WORK ITEM 2.15 |

**PRIORITY LEGEND NOTES**

- THE LEGEND CONTAINS ALL WORK ITEMS. ALL WORK ITEMS LISTED MAY NOT APPEAR ON EACH SHEET. SEE PLAN.
- REPAIRS OCCURRING UNDER DESIGNATED PRIORITIES ARE RECOMMENDED TO BE IMPLEMENTED WITHIN THE FOLLOWING TIMELINES:  
PRIORITY A - IMPLEMENTED WITH IN THE NEXT YEAR.  
PRIORITY B - IMPLEMENTED WITH IN THE NEXT 3 YEARS.  
PRIORITY C - IMPLEMENTED WITH IN THE NEXT 5 YEARS.



**KEY PLAN**

**BARBER & HOFFMAN, INC.**  
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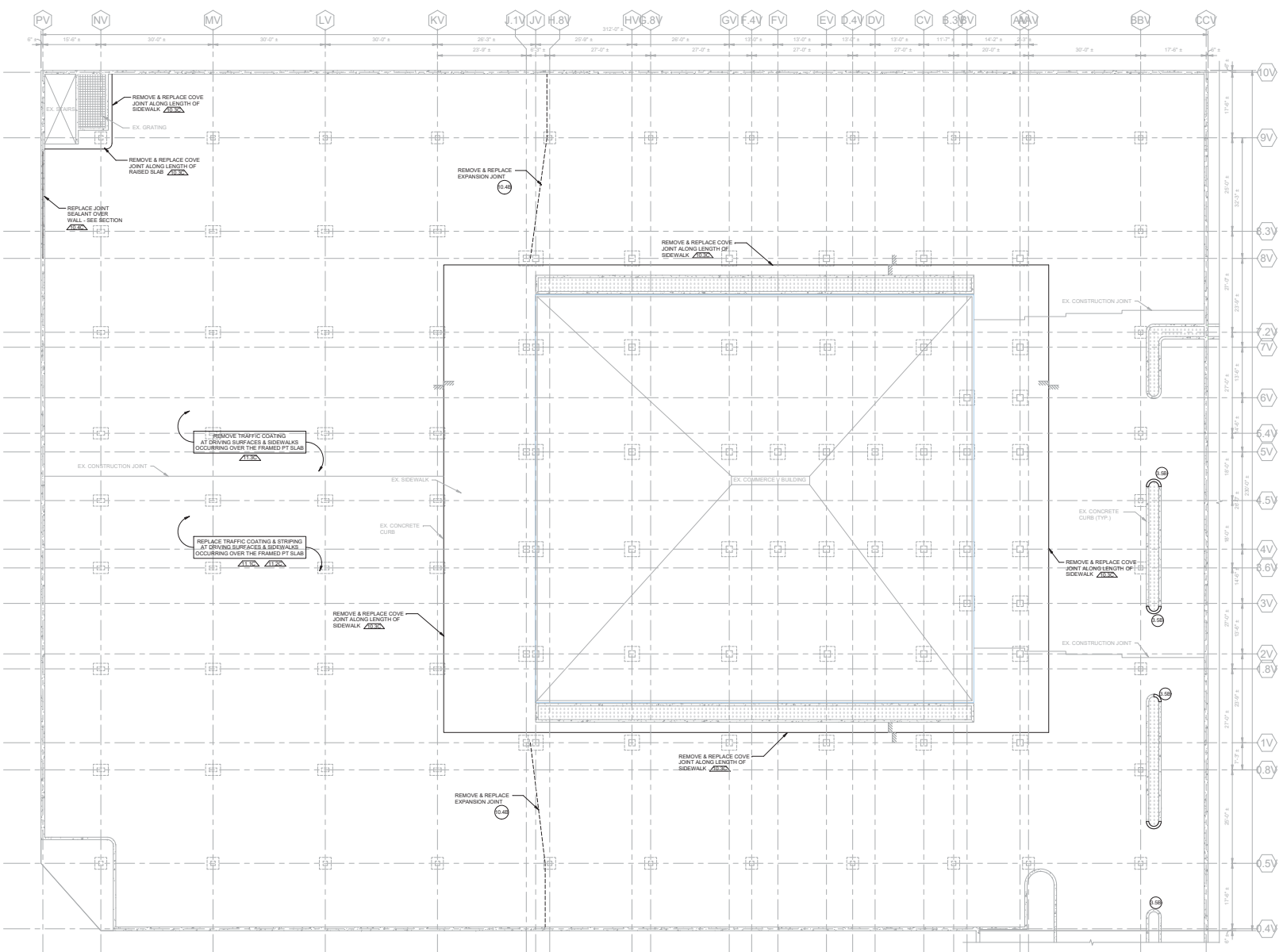
**PROJECT NAME:**  
COMMERCE IV & V  
GARAGE REPAIRS

**PROJECT ADDRESS:**  
23240 CHAGRIN BLVD.  
BEACHWOOD, OH  
44122

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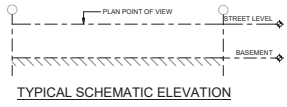
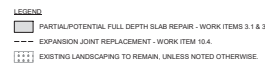
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| DRAWN BY       | LJP  |
| CHECKED BY     | MCD  |
| DRAWING SCALE  | As Indicated                               |
| PROJECT NUMBER | 25-181                                     |
| DRAWING TITLE  | STREET LEVEL FRAMING PLAN - IV - UNDERSIDE |

DWG: DECEMBER 17, 2025  
DRAWING NUMBER: **S2-IVU**



**STREET LEVEL FRAMING PLAN - V - TOPSIDE**  
3/32" = 1'-0"

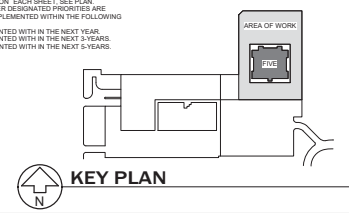
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  - SEE DETAILS FOR REPAIR INFORMATION OF EACH WORK ITEM.
  - SEE GENERAL NOTES SHEET FOR REPAIR QUANTITIES AND PRIORITIES.
  - SURFACES COVERED BY LANDSCAPING WERE NOT REVIEWED DURING THE ASSESSMENT AND ARE ASSUMED TO BE IN ADEQUATE CONDITION.
  - EXISTING CONSTRUCTION CONSISTS OF 6" POST TENSIONED SLAB.



| PRIORITY A |                | PRIORITY B |                | PRIORITY C |                |
|------------|----------------|------------|----------------|------------|----------------|
| 1.10       | WORK ITEM 3.1  | 6.10       | WORK ITEM 6.1  | 11.10      | WORK ITEM 10.1 |
| 1.20       | WORK ITEM 3.2  | 6.20       | WORK ITEM 7.1  | 11.20      | WORK ITEM 10.2 |
| 1.30       | WORK ITEM 3.3  | 6.30       | WORK ITEM 10.4 | 11.30      | WORK ITEM 10.5 |
| 1.40       | WORK ITEM 3.5  | 6.40       | WORK ITEM 10.6 | 11.40      | WORK ITEM 11.1 |
| 1.50       | WORK ITEM 3.6  | 6.50       | WORK ITEM 12.1 | 11.50      | WORK ITEM 11.2 |
| 1.60       | WORK ITEM 4.1  | 6.60       | WORK ITEM 12.2 | 12.00      | WORK ITEM 11.3 |
| 1.70       | WORK ITEM 10.2 | 6.70       | WORK ITEM 12.3 |            |                |
| 1.80       | WORK ITEM 10.4 |            |                |            |                |

**PRIORITY LEGEND NOTES**

- THE LEGEND CONTAINS ALL WORK ITEMS. ALL WORK ITEMS LISTED MAY NOT APPEAR ON EACH SHEET. SEE PLAN REPAIRS OCCURRING UNDER DESIGNATED PRIORITIES ARE RECOMMENDED TO BE IMPLEMENTED WITHIN THE FOLLOWING TIMELINES.
- PRIORITY A - IMPLEMENTED WITHIN THE NEXT YEAR.
- PRIORITY B - IMPLEMENTED WITHIN THE NEXT 3 YEARS.
- PRIORITY C - IMPLEMENTED WITHIN THE NEXT 5 YEARS.



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Consulting Engineers  
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216-875-0100 (F) 216-875-0111  
barberhoffman.com

PROJECT NAME:  
**COMMERCE IV & V GARAGE REPAIRS**

PROJECT ADDRESS:  
**23240 CHAGRIN BLVD.  
BEACHWOOD, OH  
44122**

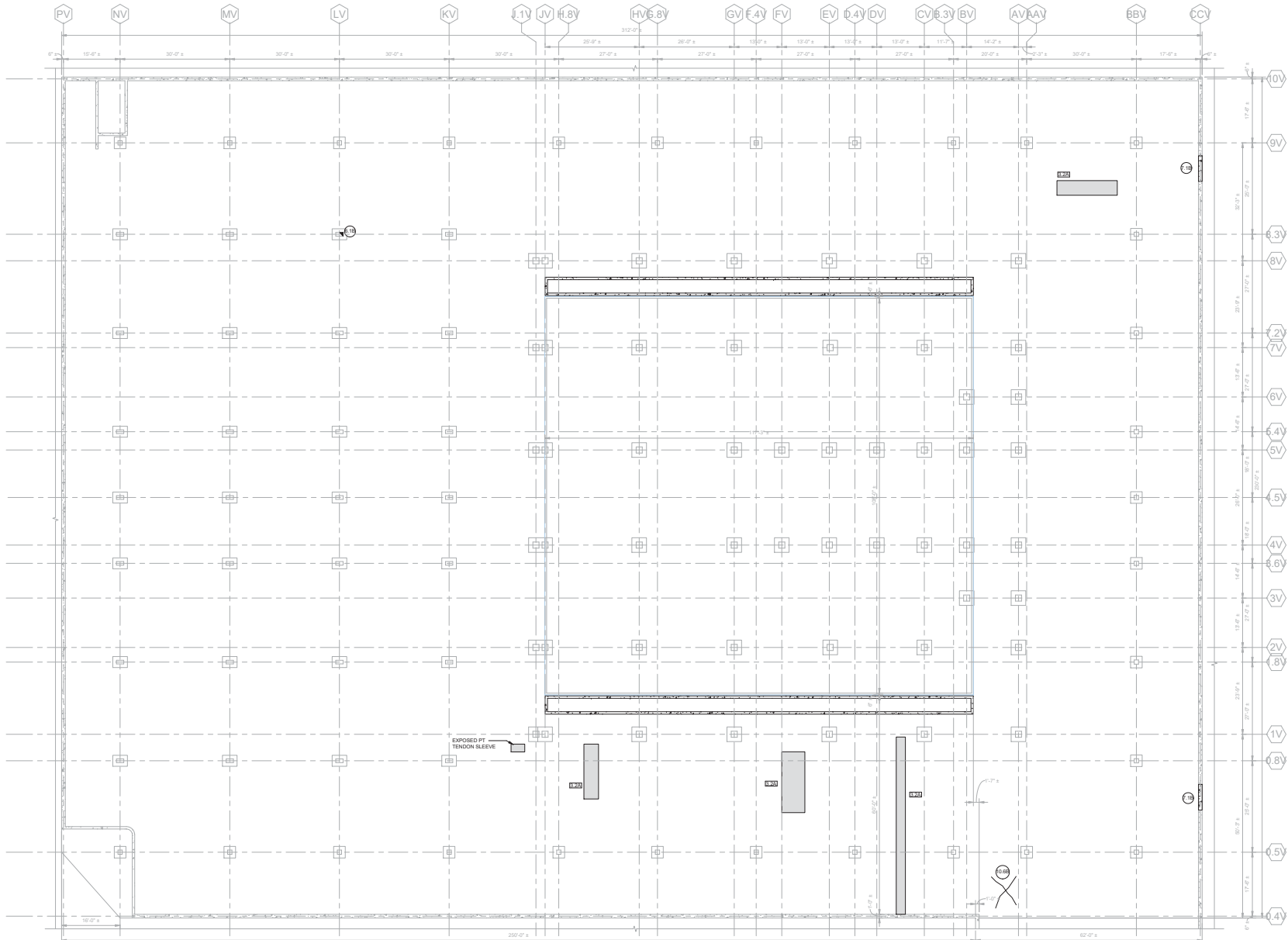
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DRAWN BY: LJP  
CHECKED BY: MCD  
DRAWING SCALE: As Indicated  
PROJECT NUMBER: 25-101

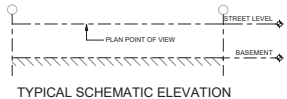
DRAWING TITLE:  
**STREET LEVEL FRAMING PLAN - V - TOPSIDE**

DATE: DECEMBER 17, 2025

DRAWING NUMBER:  
**S2-VT**



**STREET LEVEL FRAMING PLAN - V - UNDERSIDE**  
3/32" = 1'-0"



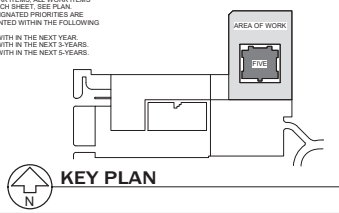
- NOTES:**
- WORK ITEMS SHOWN ARE ONLY TO REPRESENT TYPES OF DETERIORATION AND APPROXIMATE LOCATIONS THAT REQUIRE REPAIR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL EXTENT AND LOCATION OF REPAIR AREAS. SUBJECT TO VERIFICATION BY THE ENGINEER.
  - THE CONTRACTOR SHALL CONTACT THE ENGINEER IF EXISTING CONDITIONS VARY FROM CONSTRUCTION DOCUMENTS.
  - SEE DETAILS FOR REPAIR INFORMATION OF EACH WORK ITEM.
  - SEE GENERAL NOTES SHEET FOR REPAIR QUANTITIES AND PRIORITIES.
  - SURFACES COVERED BY LANDSCAPING WERE NOT REVIEWED DURING THE ASSESSMENT AND ARE ASSUMED TO BE IN ADEQUATE CONDITION.
  - EXISTING CONSTRUCTION CONSISTS OF 8" POST TENSIONED SLAB.

- LEGEND**
- SLAB REPAIR, PARTIAL/FULL DEPTH - WORK ITEMS 3.2, 3.3, & 4.1
  - CONCRETE WALL REPAIR - WORK ITEM 7.1
  - CONCRETE (SLAB) CRACK REPAIR - WORK ITEM 10.6
  - CONCRETE COLUMN REPAIR - WORK ITEMS 6.1

| PRIORITY LEGEND |                |                |
|-----------------|----------------|----------------|
| PRIORITY A      | PRIORITY B     | PRIORITY C     |
| WORK ITEM 3.1   | WORK ITEM 6.1  | WORK ITEM 3.4  |
| WORK ITEM 3.2   | WORK ITEM 7.1  | WORK ITEM 10.1 |
| WORK ITEM 3.3   | WORK ITEM 10.4 | WORK ITEM 10.2 |
| WORK ITEM 3.5   | WORK ITEM 10.6 | WORK ITEM 10.5 |
| WORK ITEM 3.6   | WORK ITEM 10.8 | WORK ITEM 11.1 |
| WORK ITEM 4.1   | WORK ITEM 12.1 | WORK ITEM 11.2 |
| WORK ITEM 10.2  | WORK ITEM 10.1 | WORK ITEM 11.3 |
| WORK ITEM 10.4  | WORK ITEM 12.2 | WORK ITEM 12.3 |

**PRIORITY LEGEND NOTES:**

- THIS LEGEND CONTAINS ALL WORK ITEMS. ALL WORK ITEMS LISTED MAY NOT APPEAR ON EACH SHEET. SEE PLAN.
- REPAIRS OCCURRING UNDER DESIGNATED PRIORITIES ARE RECOMMENDED TO BE IMPLEMENTED WITHIN THE FOLLOWING TIMELINES:  
 PRIORITY A - IMPLEMENTED WITHIN THE NEXT YEAR.  
 PRIORITY B - IMPLEMENTED WITHIN THE NEXT 3 YEARS.  
 PRIORITY C - IMPLEMENTED WITHIN THE NEXT 5 YEARS.



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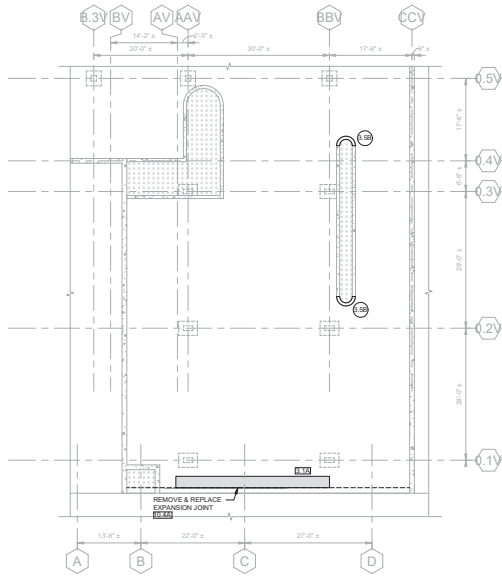
**PROJECT NAME:**  
COMMERCE IV & V  
GARAGE REPAIRS

**PROJECT ADDRESS:**  
23240 CHAGRIN BLVD.  
BEACHWOOD, OH  
44122

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| DRAWN BY       | LJP                                       |
| CHECKED BY     | MCD                                       |
| DRAWING SCALE  | As Indicated                              |
| PROJECT NUMBER | 35-101                                    |
| DRAWING TITLE  | STREET LEVEL FRAMING PLAN - V - UNDERSIDE |

DWG: DECEMBER 17, 2025  
DRAWING NUMBER: **S2-VU**  
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**STREET LEVEL PARTIAL FRAMING PLAN - V - TOPSIDE**  
3/32" = 1'-0"

**NOTES:**

1. WORK ITEMS SHOWN ARE ONLY TO REPRESENT TYPES OF DETERIORATION AND APPROXIMATE LOCATIONS THAT REQUIRE REPAIR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL EXTENT AND LOCATION OF REPAIR AREAS, SUBJECT TO VERIFICATION BY THE ENGINEER.
2. THE CONTRACTOR SHALL CONTACT THE ENGINEER IF EXISTING CONDITIONS VARY FROM CONSTRUCTION DOCUMENTS.
3. SEE DETAILS FOR REPAIR INFORMATION OF EACH WORK ITEM.
4. SEE GENERAL NOTES SHEET FOR REPAIR QUANTITIES AND PRIORITIES.
5. SURFACES COVERED BY LANDSCAPING WERE NOT REVIEWED DURING THE ASSESSMENT AND ARE ASSUMED TO BE IN ADEQUATE CONDITION.
6. EXISTING CONSTRUCTION CONSISTS OF #5 POST TENSIONED SLAB.

**LEGEND**

- PARTIAL/POTENTIAL FULL DEPTH SLAB REPAIR - WORK ITEMS 3.1 & 3.3.
- EXPANSION JOINT REPLACEMENT - WORK ITEM 10.4.
- EXISTING LANDSCAPING TO REMAIN, UNLESS NOTED OTHERWISE.

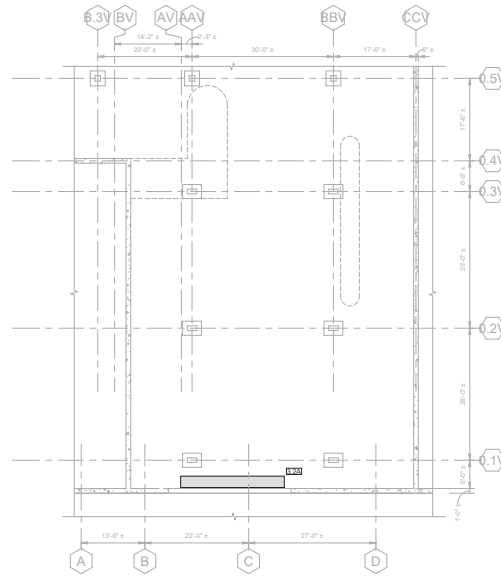


**TYPICAL SCHEMATIC ELEVATION**

| PRIORITY LEGEND |                |                |
|-----------------|----------------|----------------|
| PRIORITY A      | PRIORITY B     | PRIORITY C     |
| WORK ITEM 3.1   | WORK ITEM 6.1  | WORK ITEM 3.4  |
| WORK ITEM 3.2   | WORK ITEM 7.1  | WORK ITEM 10.1 |
| WORK ITEM 3.3   | WORK ITEM 10.4 | WORK ITEM 10.2 |
| WORK ITEM 3.5   | WORK ITEM 10.6 | WORK ITEM 10.5 |
| WORK ITEM 3.6   | WORK ITEM 10.8 | WORK ITEM 11.1 |
| WORK ITEM 4.1   | WORK ITEM 12.1 | WORK ITEM 11.2 |
| WORK ITEM 10.2  | WORK ITEM 12.2 | WORK ITEM 11.3 |
| WORK ITEM 10.4  |                | WORK ITEM 12.3 |

**PRIORITY LEGEND NOTES**

1. THIS LEGEND CONTAINS ALL WORK ITEMS. ALL WORK ITEMS LISTED MAY NOT APPEAR ON EACH SHEET. SEE PLAN REPAIRS OCCURRING UNDER DESIGNATED PRIORITIES ARE RECOMMENDED TO BE IMPLEMENTED WITHIN THE FOLLOWING TIMELINES:  
PRIORITY A - IMPLEMENTED WITHIN THE NEXT YEAR  
PRIORITY B - IMPLEMENTED WITHIN THE NEXT 3 YEARS  
PRIORITY C - IMPLEMENTED WITHIN THE NEXT 5 YEARS.



**STREET LEVEL PARTIAL FRAMING PLAN - V - UNDERSIDE**  
3/32" = 1'-0"

**NOTES:**

1. WORK ITEMS SHOWN ARE ONLY TO REPRESENT TYPES OF DETERIORATION AND APPROXIMATE LOCATIONS THAT REQUIRE REPAIR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL EXTENT AND LOCATION OF REPAIR AREAS, SUBJECT TO VERIFICATION BY THE ENGINEER.
2. THE CONTRACTOR SHALL CONTACT THE ENGINEER IF EXISTING CONDITIONS VARY FROM CONSTRUCTION DOCUMENTS.
3. SEE DETAILS FOR REPAIR INFORMATION OF EACH WORK ITEM.
4. SEE GENERAL NOTES SHEET FOR REPAIR QUANTITIES AND PRIORITIES.
5. SURFACES COVERED BY LANDSCAPING WERE NOT REVIEWED DURING THE ASSESSMENT AND ARE ASSUMED TO BE IN ADEQUATE CONDITION.
6. EXISTING CONSTRUCTION CONSISTS OF #5 POST TENSIONED SLAB.

**LEGEND**

- SLAB REPAIR: PARTIAL/FULL DEPTH - WORK ITEMS 3.2, 3.3, & 4.1.
- CONCRETE WALL REPAIR - WORK ITEM 7.1.
- CONCRETE (SLAB) CRACK REPAIR - WORK ITEM 10.6.
- CONCRETE COLUMN REPAIR - WORK ITEMS 6.1.

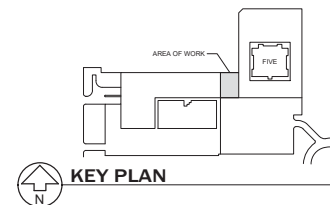


**TYPICAL SCHEMATIC ELEVATION**

| PRIORITY LEGEND |                |                |
|-----------------|----------------|----------------|
| PRIORITY A      | PRIORITY B     | PRIORITY C     |
| WORK ITEM 3.1   | WORK ITEM 6.1  | WORK ITEM 3.4  |
| WORK ITEM 3.2   | WORK ITEM 7.1  | WORK ITEM 10.1 |
| WORK ITEM 3.3   | WORK ITEM 10.4 | WORK ITEM 10.2 |
| WORK ITEM 3.5   | WORK ITEM 10.6 | WORK ITEM 10.5 |
| WORK ITEM 3.6   | WORK ITEM 10.8 | WORK ITEM 11.1 |
| WORK ITEM 4.1   | WORK ITEM 12.1 | WORK ITEM 11.2 |
| WORK ITEM 10.2  | WORK ITEM 12.2 | WORK ITEM 11.3 |
| WORK ITEM 10.4  |                | WORK ITEM 12.3 |

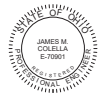
**PRIORITY LEGEND NOTES**

1. THIS LEGEND CONTAINS ALL WORK ITEMS. ALL WORK ITEMS LISTED MAY NOT APPEAR ON EACH SHEET. SEE PLAN REPAIRS OCCURRING UNDER DESIGNATED PRIORITIES ARE RECOMMENDED TO BE IMPLEMENTED WITHIN THE FOLLOWING TIMELINES:  
PRIORITY A - IMPLEMENTED WITHIN THE NEXT YEAR  
PRIORITY B - IMPLEMENTED WITHIN THE NEXT 3 YEARS  
PRIORITY C - IMPLEMENTED WITHIN THE NEXT 5 YEARS.



**KEY PLAN**

SEAL



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PROJECT NAME  
**COMMERCE IV & V  
GARAGE REPAIRS**

PROJECT ADDRESS  
**23240 CHAGRIN BLVD.  
BEACHWOOD, OH  
44122**

| No. | Date | Description |
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| DRAWN BY       | CAH          |
| CHECKED BY     | MCD          |
| DRAWING SCALE  | As Indicated |
| PROJECT NUMBER | 25-101       |

DRAWING TITLE  
**STREET LEVEL  
PARTIAL FRAMING  
PLAN - V - TOPSIDE &  
UNDERSIDE REPAIRS**

DATE  
DECEMBER 17, 2025

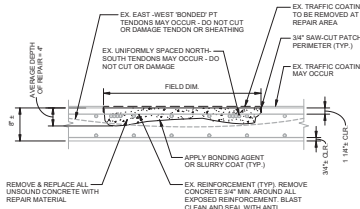
DRAWING NUMBER

**S2-VPTU**

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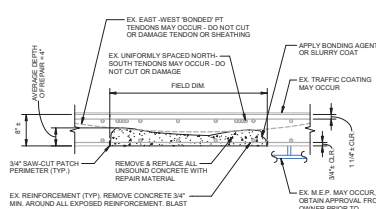
**SITE CONDITION**



- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF SHORES (AS REQUIRED) PRIOR TO ANY CONCRETE REMOVAL.
  - NUMBER AND LOCATION OF REINFORCEMENT SHOWN MAY DIFFER FROM ACTUAL FIELD CONDITIONS.
  - ADDITIONAL REINFORCEMENT (OTHER THAN SHOWN IN DETAIL) TO BE ADDED AS DIRECTED BY THE ENGINEER.
  - SEE SPECIFICATIONS FOR APPROVED MATERIALS AND ADDITIONAL REPAIR PROCEDURES.
  - SEE PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR MIXING, SURFACE PREPARATION, APPLICATION PROCEDURES, AND CURING.
  - ALL REINFORCING TO BE GALVANIZED.
  - REINFORCING BARS OR TIES WHICH HAVE LOST MORE THAN 15% OF ORIGINAL CROSS SECTIONAL AREA SHALL BE SUPPLEMENTED AS ENGINEER DIRECTS.
  - IF AN EXISTING TRAFFIC COATING OCCURS SURROUNDING THE REPAIR AREA, A NEW TRAFFIC COATING SHALL BE APPLIED TO ALL REPAIR AREAS PER MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE AND MATCH THE EXISTING TRAFFIC COATING.



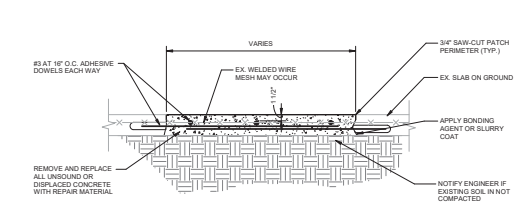
**SITE CONDITION**



- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF SHORES (AS REQUIRED) PRIOR TO ANY CONCRETE REMOVAL.
  - NUMBER AND LOCATION OF REINFORCEMENT SHOWN MAY DIFFER FROM ACTUAL FIELD CONDITIONS.
  - ADDITIONAL REINFORCEMENT (OTHER THAN SHOWN IN DETAIL) TO BE ADDED AS DIRECTED BY THE ENGINEER.
  - SEE SPECIFICATIONS FOR APPROVED MATERIALS AND ADDITIONAL REPAIR PROCEDURES.
  - SEE PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR MIXING, SURFACE PREPARATION, APPLICATION PROCEDURES, AND CURING.
  - ALL REINFORCING TO BE GALVANIZED.
  - REINFORCING BARS OR TIES WHICH HAVE LOST MORE THAN 15% OF ORIGINAL CROSS SECTIONAL AREA SHALL BE SUPPLEMENTED AS ENGINEER DIRECTS.
  - IF AN EXISTING TRAFFIC COATING OCCURS SURROUNDING THE REPAIR AREA, A NEW TRAFFIC COATING SHALL BE APPLIED TO ALL REPAIR AREAS PER MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE AND MATCH THE EXISTING TRAFFIC COATING.



**SITE CONDITION**



- NOTES:**
- SEE SPECIFICATIONS FOR APPROVED MATERIALS AND ADDITIONAL REPAIR PROCEDURES.
  - SEE PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR MIXING, SURFACE PREPARATION, APPLICATION PROCEDURES, AND CURING.
  - ALL REINFORCING TO BE GALVANIZED.

**3.1 CONCRETE SLAB - TOPSIDE REPAIR (PARTIAL DEPTH)**  
3/4" ± 1/2"

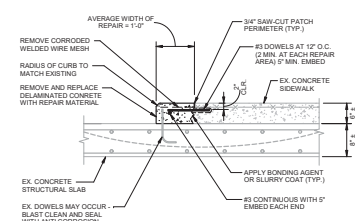
**3.2 CONCRETE SLAB - UNDERSIDE REPAIR (PARTIAL DEPTH)**  
3/4" ± 1/2"

**3.3 CONCRETE SLAB - FULL-DEPTH REPAIR**  
3/4" ± 1/2"

**3.4 CONCRETE SLAB ON GROUND - FULL DEPTH REPAIR**  
1 1/4" ± 1/2"



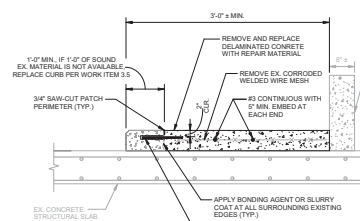
**SITE CONDITION**



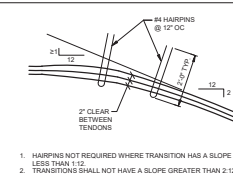
- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF SHORES (AS REQUIRED) PRIOR TO ANY CONCRETE REMOVAL.
  - NUMBER AND LOCATION OF REINFORCEMENT SHOWN MAY DIFFER FROM ACTUAL FIELD CONDITIONS.
  - ADDITIONAL REINFORCEMENT (OTHER THAN SHOWN IN DETAIL) TO BE ADDED AS DIRECTED BY THE ENGINEER.
  - SEE SPECIFICATIONS FOR APPROVED MATERIALS AND ADDITIONAL REPAIR PROCEDURES.
  - SEE PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR MIXING, SURFACE PREPARATION, APPLICATION PROCEDURES, AND CURING.
  - ALL REINFORCING TO BE GALVANIZED.
  - REINFORCING BARS OR TIES WHICH HAVE LOST MORE THAN 15% OF ORIGINAL CROSS SECTIONAL AREA SHALL BE SUPPLEMENTED AS ENGINEER DIRECTS.
  - IF AN EXISTING TRAFFIC COATING OCCURS SURROUNDING THE REPAIR AREA, A NEW TRAFFIC COATING SHALL BE APPLIED TO ALL REPAIR AREAS PER MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE AND MATCH THE EXISTING TRAFFIC COATING.



**SITE CONDITION**

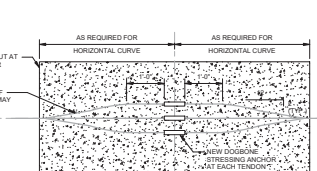


- NOTES:**
- NOTES NOTES NOTES



**TYPICAL HAIRPIN LAYOUT AT HORIZONTAL TENDON CURVE**

- HARRISPS NOT REQUIRED WHERE TRANSITION HAS A SLOPE LESS THAN 1:12
- TRANSITIONS SHALL NOT HAVE A SLOPE GREATER THAN 2:12



**SECTION XX**



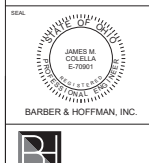
**SITE CONDITION**

- TENDON REPAIR PROCEDURE:**
- STEP 1: AT UNDERSIDE EXPOSED BARS - CONDUCT QP SCAN TO CONFIRM LOCATION OF P.T. TENDONS.
  - STEP 2: CREATE FULL-DEPTH PENETRATION (6" ± 6" ± 6") AT CONFIRMED TENDON LOCATIONS, THAT ALSO ALIGN WITH POTENTIAL FLEXURAL CRACKING.
  - STEP 3: LOCATE POTENTIAL DAMAGED / LOOSE TENDONS.
  - STEP 4: RE-ATTACH TENDONS PER REPAIR DETAILS & REPLACE ALL REMOVED CONCRETE.
- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF SHORES (AS REQUIRED) PRIOR TO ANY CONCRETE REMOVAL.
  - NUMBER AND LOCATION OF REINFORCEMENT SHOWN MAY DIFFER FROM ACTUAL FIELD CONDITIONS.
  - ADDITIONAL REINFORCEMENT (OTHER THAN SHOWN IN DETAIL) TO BE ADDED AS DIRECTED BY THE ENGINEER.
  - ALL TENDONS SHALL BE STRESSED TO A MAXIMAL TEMPORARY FORCE OF 27,000 POUNDS.
  - SEE SPECIFICATIONS FOR APPROVED MATERIALS AND ADDITIONAL REPAIR PROCEDURES.
  - SEE PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR MIXING, SURFACE PREPARATION, APPLICATION PROCEDURES, AND CURING.
  - ALL REINFORCING TO BE GALVANIZED.
  - REINFORCING BARS OR TIES WHICH HAVE LOST MORE THAN 15% OF ORIGINAL CROSS SECTIONAL AREA SHALL BE SUPPLEMENTED AS ENGINEER DIRECTS.

**3.5 CONCRETE CURB REPAIR AT SIDEWALK**  
3/4" ± 1/2"

**3.6 CONCRETE SIDEWALK REPAIR**  
3/4" ± 1/2"

**4.1 4.1 - PT TENDON - RE-ANCHOR TENDONS**  
3/4" ± 1/2"



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**PROJECT NAME:**  
COMMERCE IV & V GARAGE REPAIRS

**PROJECT ADDRESS:**  
23240 CHAGRIN BLVD.  
BEACHWOOD, OH 44122

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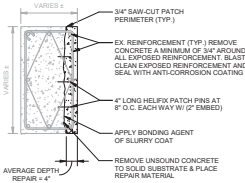
**DRAWN BY:** LJP  
**CHECKED BY:** MCD  
**DRAWING SCALE:** As Indicated  
**PROJECT NUMBER:** 25-101  
**DRAWING TITLE:** REPAIR DETAILS

**DATE:** DECEMBER 17, 2025  
**DRAWING NUMBER:** S3-01





**SITE CONDITION**

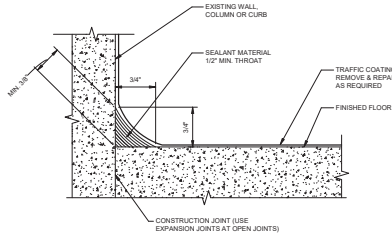


- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF SHORES (AS REQUIRED) PRIOR TO ANY CONCRETE REMOVAL.
  - NUMBER AND LOCATION OF REINFORCEMENT SHOWN MAY DIFFER FROM ACTUAL FIELD CONDITIONS.
  - ADDITIONAL REINFORCEMENT (OTHER THAN SHOWN IN DETAIL) TO BE ADDED AS DIRECTED BY THE ENGINEER.
  - SEE SPECIFICATIONS FOR APPROVED MATERIALS AND ADDITIONAL REPAIR PROCEDURES.
  - SEE PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR MIXING, SURFACE PREPARATION, APPLICATION PROCEDURES AND CURING.
  - REINFORCING BARS OR TIES WHICH HAVE LOST MORE THAN 50% OF ORIGINAL CROSS SECTIONAL AREA SHALL BE SUPPLEMENTED AS ENGINEER DIRECTS.
  - REPAIRS SHALL BE MADE IN 3/4\"/>

**6.1 CONCRETE COLUMN REPAIRS**  
3/4" = 1'-0"



**SITE CONDITION**

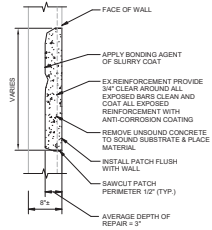


- NOTES:**
- SEE SPECIFICATIONS & PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR SURFACE PREPARATION, APPLICATION PROCEDURES, AND JOINT SIZE LIMITATIONS.

**10.3 COVE JOINTS (REMOVE AND REPLACE)**  
3/4" = 1'-0"



**SITE CONDITION**

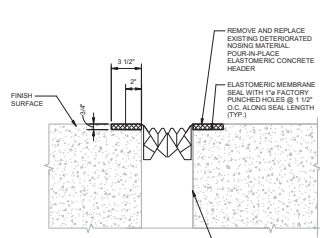


- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF SHORES (AS REQUIRED) PRIOR TO ANY CONCRETE REMOVAL.
  - NUMBER AND LOCATION OF REINFORCEMENT SHOWN MAY DIFFER FROM ACTUAL FIELD CONDITIONS.
  - ADDITIONAL REINFORCEMENT (OTHER THAN SHOWN IN DETAIL) TO BE ADDED AS DIRECTED BY THE ENGINEER.
  - SEE SPECIFICATIONS FOR APPROVED MATERIALS AND ADDITIONAL REPAIR PROCEDURES.
  - SEE PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR MIXING, SURFACE PREPARATION, APPLICATION PROCEDURES AND CURING.
  - REINFORCING BARS OR TIES WHICH HAVE LOST MORE THAN 50% OF ORIGINAL CROSS SECTIONAL AREA SHALL BE SUPPLEMENTED AS ENGINEER DIRECTS.
  - AFTER REPAIRS ARE COMPLETED, REPAIR AREAS SHALL BE PAINTED TO MATCH THE SURROUNDING EXISTING SURFACE. PRIOR TO PAINTING ALL REPAIR AREAS, ONE MOCKUP AREA SHALL BE PREPARED FOR OWNER'S APPROVAL.

**7.1 CONCRETE WALL REPAIR**  
3/4" = 1'-0"

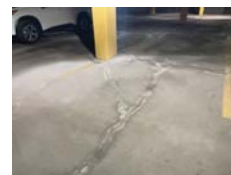


**SITE CONDITION**

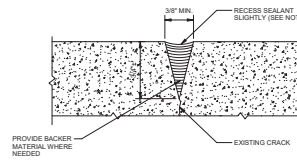


- NOTES:**
- REMOVE ALL DETERIORATED OR CRACKED ELASTOMERIC GLAND MATERIAL.
  - PREPARE SUBSTRATE PER MANUFACTURER'S RECOMMENDATIONS.
  - INSTALL NEW ELASTOMERIC NOZZLE PER MANUFACTURER'S RECOMMENDATIONS.
  - CONTRACTOR TO PROVIDE PRODUCT TECHNICAL DATA FOR ENGINEER'S REVIEW PRIOR TO PURCHASE OF MATERIALS.

**10.4 EXPANSION JOINT REPLACEMENT DETAIL**  
1" = 1'-0"



**SITE CONDITION**

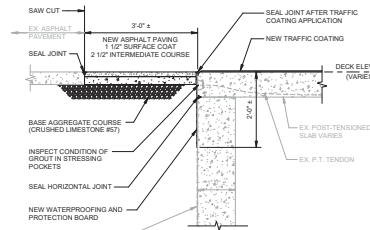


- NOTES:**
- PROVIDE V-SHAPED SAW CUT ALONG THE CENTER OF CRACK. (DO NOT CUT EXISTING REINFORCEMENT).
  - SEE PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR SURFACE PREPARATION, APPLICATION PROCEDURES, AND JOINT SIZE LIMITATIONS.
  - FILL JOINT SEALANT FLUSH WITH THE CONCRETE SURFACE IF VEHICULAR TRAFFIC COATING ALTERNATE IS SELECTED.
  - INSTALL SEALANT FLUSH IF TRAFFIC TOPPING IS APPLIED TO TOP SURFACE.

**10.1 ROUTE AND SEAL RANDOM CRACKS**  
3/4" = 1'-0"



**SITE CONDITION**

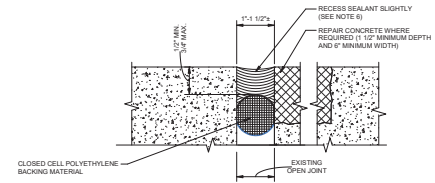


- NOTES:**
- REMOVE EXISTING SEALANT MATERIALS. GRINDING OR SANDBLASTING MAY BE REQUIRED TO EXPOSE CLEAN, SOUND, VIRGIN CONCRETE SURFACES.
  - PREPARE AND PRIME SURFACES.
  - INSTALL NEW BACKING MATERIAL TO PROPER AND CONSISTENT DEPTH.
  - INSTALL SEALANT MATERIAL.
  - SEE SPECIFICATIONS & PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR SURFACE PREPARATION, APPLICATION PROCEDURES, AND JOINT SIZE LIMITATIONS.
  - FILL JOINT SEALANT FLUSH WITH THE CONCRETE SURFACE IF VEHICULAR TRAFFIC COATING ALTERNATE IS SELECTED.
  - SEE WORK ITEMS 11.1 THRU 11.3 FOR TRAFFIC COATING INFORMATION.

**10.5 REMOVE & REPLACE JOINT SEALANT OVER WALL**  
3/4" = 1'-0"



**SITE CONDITION**

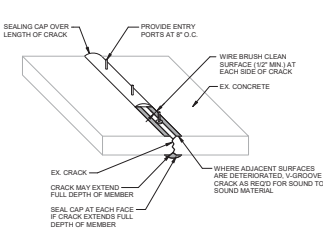


- NOTES:**
- REMOVE EXISTING SEALANT MATERIALS. GRINDING OR SANDBLASTING MAY BE REQUIRED TO EXPOSE CLEAN, SOUND, VIRGIN CONCRETE SURFACES.
  - PREPARE AND PRIME SURFACES.
  - INSTALL NEW BACKING MATERIAL TO PROPER AND CONSISTENT DEPTH.
  - INSTALL SEALANT MATERIAL.
  - SEE SPECIFICATIONS & PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR SURFACE PREPARATION, APPLICATION PROCEDURES, AND JOINT SIZE LIMITATIONS.
  - FILL JOINT SEALANT FLUSH WITH THE CONCRETE SURFACE IF VEHICULAR TRAFFIC COATING ALTERNATE IS SELECTED.

**10.2 JOINT SEALANTS (REMOVE & REPLACE)**  
3/4" = 1'-0"



**SITE CONDITION**



- NOTES:**
- PROVIDE TYP. W. CLASSES A-B OR C TWO-COMPONENT EPOXY GRADE 1 FOR CRACKS WITH WIDTHS LESS THAN 0.01\"/>

**10.6 EPOXY INJECTION CRACK REPAIR**  
1" = 1'-0"

SEAL

BARBER & HOFFMAN, INC.  
Consulting Engineers  
Cleveland, OH  
Cincinnati, OH  
Columbus, Ohio, PA

2217 East 9th Street, Suite 300  
Cleveland, OH 44115-1257  
216-875-0100 (F) 216-875-0111  
barberhoffman.com

PROJECT NAME  
**COMMERCE IV & V GARAGE REPAIRS**

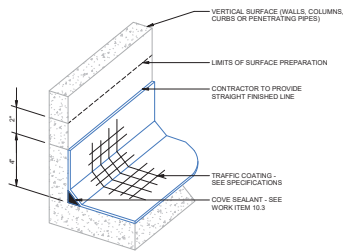
PROJECT ADDRESS  
**20240 CHAGRIN BLVD. BEACHWOOD, OH 44122**

| No. | Date | Description |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

|                |                |
|----------------|----------------|
| DRAWN BY       | LJP            |
| CHECKED BY     | MCD            |
| DRAWING SCALE  | As Indicated   |
| PROJECT NUMBER | 25-101         |
| DRAWING TITLE  | REPAIR DETAILS |



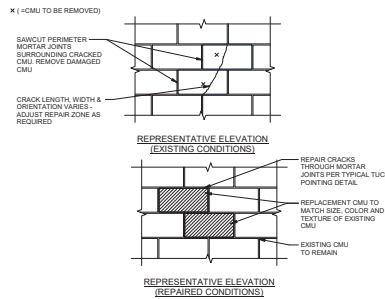
**SITE CONDITION**



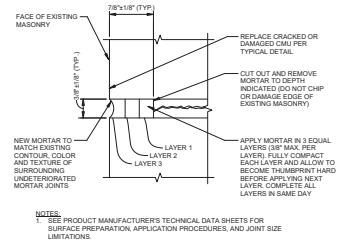
- NOTES**
1. QUANTITIES BASED ON HORIZONTAL APPLICATION AREA. BID AMOUNTS SHALL INCLUDE 4" VERTICAL SURFACE.
  2. 4" VERTICAL COATING SHALL OCCUR AT ALL PERIMETER AND FIELD CONDITIONS IN WHICH HORIZONTAL SURFACES ADJUT VERTICAL SURFACES.
  3. ADD NEW TRAFFIC STRIPING AFTER INSTALLATION OF COATING TO MATCH EXISTING SIZE, QUANTITY, AND PATTERN. SEE SPECIFICATIONS.

**11 TRAFFIC MEMBRANE REPLACEMENT AND STRIPING**  
1" = 1'-0"

**NOTE**  
WHERE CMU PARTITION WALLS OCCUR BELOW A CONCRETE SLAB, PROVIDE 1" MAX GAP BETWEEN TOP OF WALL AND UNDERSIDE OF SLAB WHEN TOP COURSE IS BEING REPLACED



**12.1 CRACKED CMU REPLACEMENT DETAIL**  
1" = 1'-0"



**NOTE**  
1. SEE PRODUCT MANUFACTURER'S TECHNICAL DATA SHEETS FOR SURFACE PREPARATION, APPLICATION PROCEDURES, AND JOINT SIZE LIMITATIONS.

**12.2 MASONRY RE-POINTING DETAIL**  
1" = 1'-0"

SEAL



BARBER & HOFFMAN, INC.



**BARBER & HOFFMAN, INC.**

Consulting Engineers

Cleveland, OH  
Columbus, OH  
Cincinnati, OH  
Cincinnati, PA

2217 East 9th Street, Suite 300  
Cleveland, OH 44115-1257  
216-875-0100 (F) 216-875-0111  
barberhoffman.com

PROJECT NAME  
**COMMERCE IV & V GARAGE REPAIRS**

PROJECT ADDRESS  
**23240 CHAGRIN BLVD.  
BEACHWOOD, OH  
44122**

| No. | Date | Description |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

|                |                |
|----------------|----------------|
| DRAWN BY       | LJP            |
| CHECKED BY     | MCD            |
| DRAWING SCALE  | 1" = 1'-0"     |
| PROJECT NUMBER | 25-151         |
| DRAWING TITLE  | REPAIR DETAILS |

DATE: DECEMBER 17, 2025

DRAWING NUMBER:

**S3-03**

© 2025 CDP/Project: Barber & Hoffman, Inc.

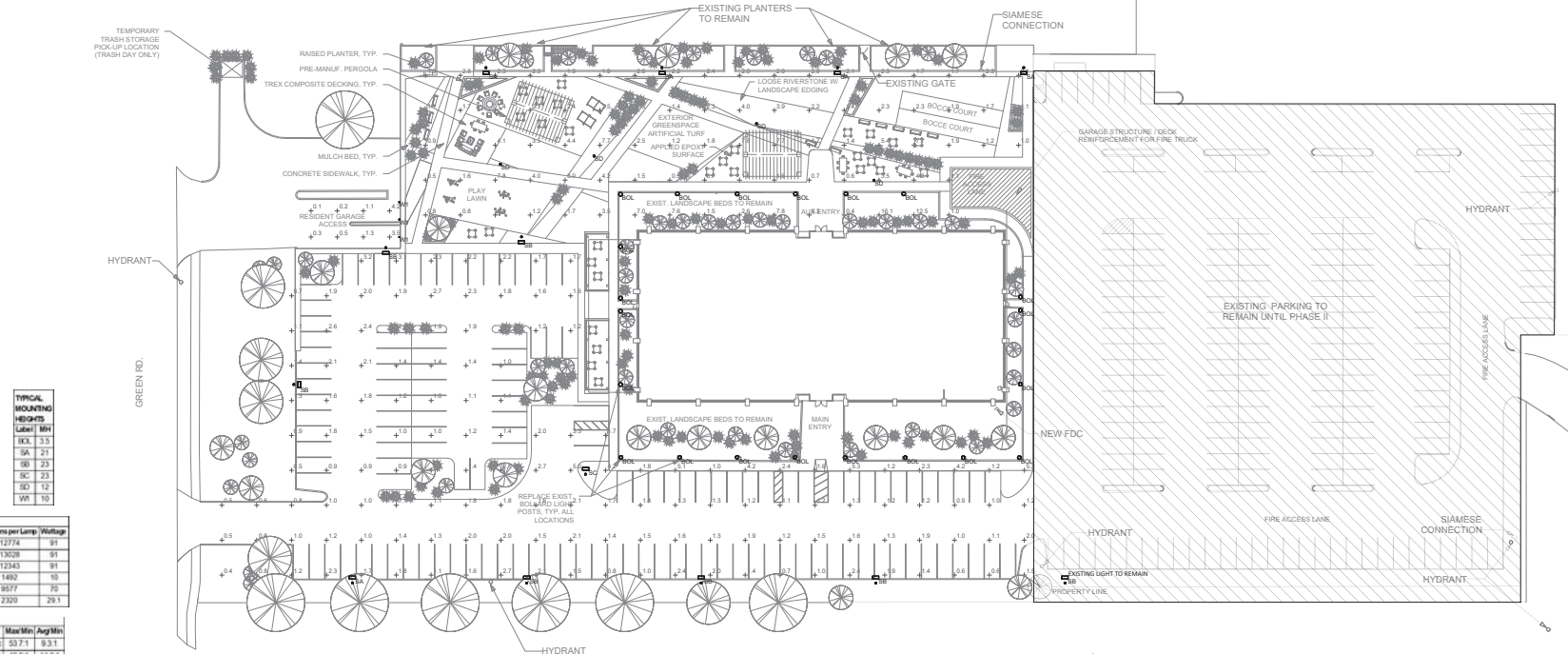
NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND NO USE OR REPRODUCTION THEREOF IS TO BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF GIS COMPANIES IS STRICTLY PROHIBITED. REVISIONS REFLECTED IN THESE DRAWINGS INDICATE CHANGES TO THE PRICE PREVIOUSLY PROVIDED. CHANGES TO THE PRICE WILL BE PROVIDED UPON REQUEST. THESE CHANGES ARE NOT TO BE BASED ON

COMMERCE 4 CONVERSION  
BEACHWOOD, OH

Drawn By  
Checked By  
Project Number

SITE PHOTOMETRIC  
DRAWING NO:



PHASE 1 SITE PHOTOMETRIC  
SCALE: 1/32" = 1'-0"

TYPICAL MOUNTING HEIGHTS

| Label | Qty | Catalog Number         | Lumens per Lamp | Wattage |
|-------|-----|------------------------|-----------------|---------|
| SA    | 5   | VALS-15L-3W-4000       | 12774           | 91      |
| SB    | 7   | VALS-15L-4P-4000       | 13028           | 91      |
| SC    | 1   | VALS-15L-6L-4000       | 12343           | 91      |
| WD    | 3   | XWRL-LED-5L-3L-3-7000R | 1482            | 91      |
| SD    | 4   | OPS-PT-10L-SQ-4000     | 9577            | 70      |
| BDL   | 18  | MRL-LED-30L-ACRA-40    | 2300            | 29.1    |

Statistics

| Description | Avg  | Max   | Min  | Max/Min | Avg/Min |
|-------------|------|-------|------|---------|---------|
| Calculation | 2.8% | 16.1% | 0.3% | 50.7    | 93.1    |
| Site        | 1.7% | 5.3%  | 0.4% | 13.3    | 43.1    |

**Mirada Bollard (MRB)**  
Low Level Lighting

**OVERVIEW**

|          |          |
|----------|----------|
| Height   | 21.00    |
| Weight   | 11.00    |
| Material | Aluminum |
| Finish   | Black    |

**QUICK LINKS**

- Ordering Guide
- Performance
- Photometrics
- Dimensions

**FEATURES & SPECIFICATIONS**

**Construction**

- Available in 3000K, 4000K, 5000K, and 2700K color temperatures per ANSI CIE819 ANSI e-1998 and Photometric Commission Ambient Correlated Color Temperature for other color temperature requirements.
- LED system, including cooling components, is heat sinked to the bollard housing for optimal heat dissipation.
- Weather resistant and suitable for outdoor use.
- Weather resistant and suitable for outdoor use.

**Installation**

- Requires a 1/2" hole in concrete or masonry.
- Requires a 1/2" hole in concrete or masonry.

**Lighting**

- Available in 150, 300, and 450 lumens.
- Available in 150, 300, and 450 lumens.

**V-Locity® Small (VALS)**  
Outdoor LED Area Light

**OVERVIEW**

|          |          |
|----------|----------|
| Height   | 18.00    |
| Weight   | 11.00    |
| Material | Aluminum |
| Finish   | Black    |

**QUICK LINKS**

- Ordering Guide
- Performance
- Photometrics
- Dimensions

**FEATURES & SPECIFICATIONS**

**Construction**

- Available in 3000K, 4000K, 5000K, and 2700K color temperatures per ANSI CIE819 ANSI e-1998 and Photometric Commission Ambient Correlated Color Temperature for other color temperature requirements.
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- Weather resistant and suitable for outdoor use.
- Weather resistant and suitable for outdoor use.

**Installation**

- Requires a 1/2" hole in concrete or masonry.
- Requires a 1/2" hole in concrete or masonry.

**Lighting**

- Available in 150, 300, and 450 lumens.
- Available in 150, 300, and 450 lumens.

**Opulence Small Post Top (OPS)**  
Outdoor Decorative Post Top

**OVERVIEW**

|          |          |
|----------|----------|
| Height   | 18.00    |
| Weight   | 11.00    |
| Material | Aluminum |
| Finish   | Black    |

**QUICK LINKS**

- Ordering Guide
- Performance
- Photometrics
- Dimensions

**FEATURES & SPECIFICATIONS**

**Construction**

- Available in 3000K, 4000K, 5000K, and 2700K color temperatures per ANSI CIE819 ANSI e-1998 and Photometric Commission Ambient Correlated Color Temperature for other color temperature requirements.
- LED system, including cooling components, is heat sinked to the bollard housing for optimal heat dissipation.
- Weather resistant and suitable for outdoor use.
- Weather resistant and suitable for outdoor use.

**Installation**

- Requires a 1/2" hole in concrete or masonry.
- Requires a 1/2" hole in concrete or masonry.

**Lighting**

- Available in 150, 300, and 450 lumens.
- Available in 150, 300, and 450 lumens.

**Mirada Small Silicone (XWS SIL)**  
Outdoor Wall Sconce

**OVERVIEW**

|          |          |
|----------|----------|
| Height   | 18.00    |
| Weight   | 11.00    |
| Material | Aluminum |
| Finish   | Black    |

**QUICK LINKS**

- Ordering Guide
- Performance
- Photometrics
- Dimensions

**FEATURES & SPECIFICATIONS**

**Construction**

- Available in 3000K, 4000K, 5000K, and 2700K color temperatures per ANSI CIE819 ANSI e-1998 and Photometric Commission Ambient Correlated Color Temperature for other color temperature requirements.
- LED system, including cooling components, is heat sinked to the bollard housing for optimal heat dissipation.
- Weather resistant and suitable for outdoor use.
- Weather resistant and suitable for outdoor use.

**Installation**

- Requires a 1/2" hole in concrete or masonry.
- Requires a 1/2" hole in concrete or masonry.

**Lighting**

- Available in 150, 300, and 450 lumens.
- Available in 150, 300, and 450 lumens.

# Tactical Planning, LLC

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: May 13, 2026

RE: **P&Z 2026-4(A) Geis Companies  
Wangard Investment Real Estate  
23240 Chagrin Boulevard  
Final Site Plan Approval**

This request is for final site plan approval to convert the existing eight-story Commerce Park IV building from offices to a mixed-use facility with first floor commercial and restaurant space and multi-family dwellings on the upper floors. The subject site is zoned U-7A General Office Building District. Section 1111.02(i)(10) permits multi-family dwellings above the first floor in the U-7A General Office Building District.

The new plan proposes a total of 105 dwelling units with 63 one-bedroom units, 35 two-bedroom units, and 7 three-bedroom units. The units are mixed on each floor. The plan includes 4,383 square feet of restaurant/retail space and 3,825 square feet of commercial space on the first floor. The rest of the first-floor space is a fitness center for residents, offices, and lobby space. The Code required parking for the proposed mix of uses is 310 spaces. The preliminary site plan provides for a total of 328 parking spaces.

Access to the site is provided from both Green Road and Commerce Park Road. Garage access is from Green Road. The main entry to the building is shown on the north building elevation with an auxiliary entrance on the south elevation. The site plan proposes a large outdoor green space and amenity area on the south side of the building. Landscaping and outdoor amenities wrap around the entire building.

The applicant has provided a landscaping plan and a lighting and photometric plan. Both appear to be acceptable and meet City design standards. The applicant has also provided a structural analysis of the garage as required. That analysis provides recommendations for correcting the noted deficiencies. I will defer comments on the garage situation to the City Engineer and Fire Department.

P&Z 2026-4(A)  
Geis Companies  
Wangard Investment Real Estate  
23240 Chagrin Boulevard  
Final Site Plan Approval  
May 13, 2026  
Page 2

It is recommended that the Commission grant final site development plan approval subject to any comments and recommendations of the City Engineer and Fire Department.

## MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 28, 2026

Report Date: May 14, 2026

To: Traci Gallagher  
From: Joseph R. Ciuni P.E. P.S.  
City Engineer

### **AGENDA ITEM - 6**

**P & Z 2026 -04(A)      Brandon Kline has requested final site plan approval for the property located at 23240 Chagrin Blvd.**

We have reviewed the final site plan for this project, including the Structural Engineering report on the Parking Garage, prepared by Barber & Hoffman, dated March 18, 2024.

The project proposes removing parking spaces above a portion of the underground garage (installing outdoor patio areas and artificial turf green spaces) and to add minor green spaces where existing pavement exists today. The impervious surface will be slightly reduced with this project.

The Structural Engineering Report states “The overall condition of the garage is good to fair”. The report recommends a 5-year plan to rehabilitate the garage with the Priority A recommendations

(totaling \$684,500) to be implemented in year 1 and a total of \$2,067, 450 to be spent in 5 years.

The project also proposes to structurally reinforce the parking garage in a (2) Bay Area on the NW corner of the existing building to support Fire Department vehicles. The remainder of the Fire Dept. access surrounding the Building will not be above the parking garage.

We hereby recommend final approval of the site plan, contingent upon the application agreeing to implement the recommendations of the Structural Engineer's Report prepared by Barber & Hoffman, dated March 18, 2024.

Fire Prevention Bureau

## P&Z Report

**To:** Planning and Zoning Commission  
**From:** Matthew Domonkos, Assistant Chief  
**Date:** 5/11/2026  
**Re:** P&Z # 2026-4 23240 Chagrin Blvd. (Site plan)

---

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. Plans show adequate fire department access areas.
2. Access lanes to be reinforced and documentation provided prior to building construction.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

## PLANNING & ZONING APPLICATION

**Form must be completed or will not be processed**

APPLICATION DATE: 04.15.2026OWNER OF BUILDING: Baywood Estates Condominium Assoc. PHONE: noneSTREET ADDRESS: 3214 Richmond RoadCITY/STATE/ZIP: Beachwood, Ohio 44122APPLICANT: Phillip Soroky PHONE: 216.695.5603COMPANY OR FIRM: BECA TreasurerEMAIL: psoroky@ullmanelectric.comSTREET ADDRESS: 3208 Richmond RoadCITY/STATE/ZIP: Beachwood, Ohio 44122

PRESENTER(S) TO APPEAR AT THE P&amp;Z MEETING (include name &amp; email address):

Phil Soroky - psoroky@ullmanelectric.comDESCRIPTION OF THE PROPERTY: ZONED U-2A ATTACHED SINGLE-FAMILY RESIDENTIALADDRESS: 3208 - 3296 Richmond Road (23) units in 4- Buildings SUITE # \_\_\_\_\_TENANT NAME: Common Area for Baywood Estates Condo Assoc.PERMANENT PARCEL # 742 \_17 \_801-833 PRESENT USE: Condo PROPOSED USE: CondoPURPOSE OF APPLICATION: To replace (6) 17ft, (13) 25ft, (4) 33ft, (2) 65ft (689ft total linear) and (2) 3-sided 9x10x8 + 9x43x11 (90ft total) 6ft high T111 screens with a vinyl product

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other to replace failed materials with like . REFERENCE P&Z 2024-21 MATERIAL
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

Replacement of existing materials within the setback.Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. The existing fence at the south building will be replaced with open aluminum 4ft prevent foot traffic from hospital to bus stop.

\*\*\*\*\* CONTINUED ON NEXT PAGE\*\*\*\*\*

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

|     | <u>Zoning District</u>  | <u>Fee</u>        |
|-----|---|-------------------|
| (1) | U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances<br>Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office. | <b>\$300.00</b>   |
| (2) | All other Zoning Districts for site development plan review (new building/addition)   | <b>\$5,000.00</b> |
| (3) | All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office  | <b>\$1,500.00</b> |
| (4) | For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use  | <b>\$750.00</b>   |
| (5) | Map Amendment   | <b>\$2,500.00</b> |

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

  
SIGNATURE

PHIL SOROKY  
PRINTED NAME

04.15.2026  
DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_  
Date

Final Approval: \_\_\_\_\_  
Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_





3214 Richmond Road, Beachwood Ohio 44122-4177  
Community Units 3208-3296 Richmond Road

### **Replacement Scope for Richmond Road Panels**

Beachwood P&Z Submission

Veterans Fence Company – Jonathan Klaczik 440.569.9098 [jonk@veteransfence.net](mailto:jonk@veteransfence.net)

#### **Scope:**

One to one replacement of existing free-standing sound/privacy panels #1-25, 27. Panel 26 to be replaced with aluminum 3-rail 4ft high fence to restrict foot traffic from hospital cutting thru Unit 3296 front sidewalk to bus stop.

#### **Existing Conditions:**

- 4x4 vertical posts 3'6" into grade with concrete bases, 4'6" above grade with (3) horizontal 2x4x8ft nailers between posts.
- T1-11 Natural sawn ply panels 4ft high mounted to horizontal wood
- 1x6 exterior wood framed nailed to end posts and installed as cap to picture frame panel

#### **Quantity:**

- (4) 3-post road east Panels 1,2, 4 and 17.
- (7) 4-post road east Panels 5,7,8,10,11,13 and 16.
- (4) 5-post road east Panels 6,12,14 and 15
- (6) 4-post road west Panels 18,19,20,21,22 and 23
- (2) 9-post road east Panel 3 and 9
- (2) 3-post entry sign Panels 24 and 25.
- (1) 4-post 3-sided south end Panel 26
- (1) 8-post 3-sided south end Panel 27

Panel Width and Spacing detailed on the attached pdfs.

#### **Remove Existing Panels:**

All 27 panels to be removed complete from site. Specifically address the existing concrete around the 4x4 posts. We will consider an offset placement of the new panels to not remove the existing 120 concrete bases.

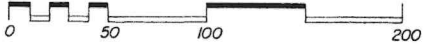
#### **New Product Selection:**

1. 4ft high, black aluminum open 3-rail Antebellum on 2" .063 posts from south-east Corner of building #1 24ft to the east.
2. 4ft high Superior Outdoor Products Cambridge Clay with 2.5" WT40 galvanized steel posts driven 48-60" BFG with vinyl sleeves over the steel posts.
3. 4ft high, Hardie Board panels built to match current construction. Framed to match current panels. Painted to match current color. Building #1 Bryden Road 2025 T1-11 OSB panel siding repair.
4. Alternate for 4ft molded Boulder gray granite sound panels.

Board of Directors – President: Karen Mazala (3284) [ksk4inm@aol.com](mailto:ksk4inm@aol.com), Terry Kaczynski – Vice President: (3228)  
Secretary: Judy Heyer (3288), Treasurer: Phil Soroky (3208), Member at Large: Frank Martines (3240)  
Website: <https://baywoodestates.com>. Property Manager: Carlyle Management

**SITE PLAN**

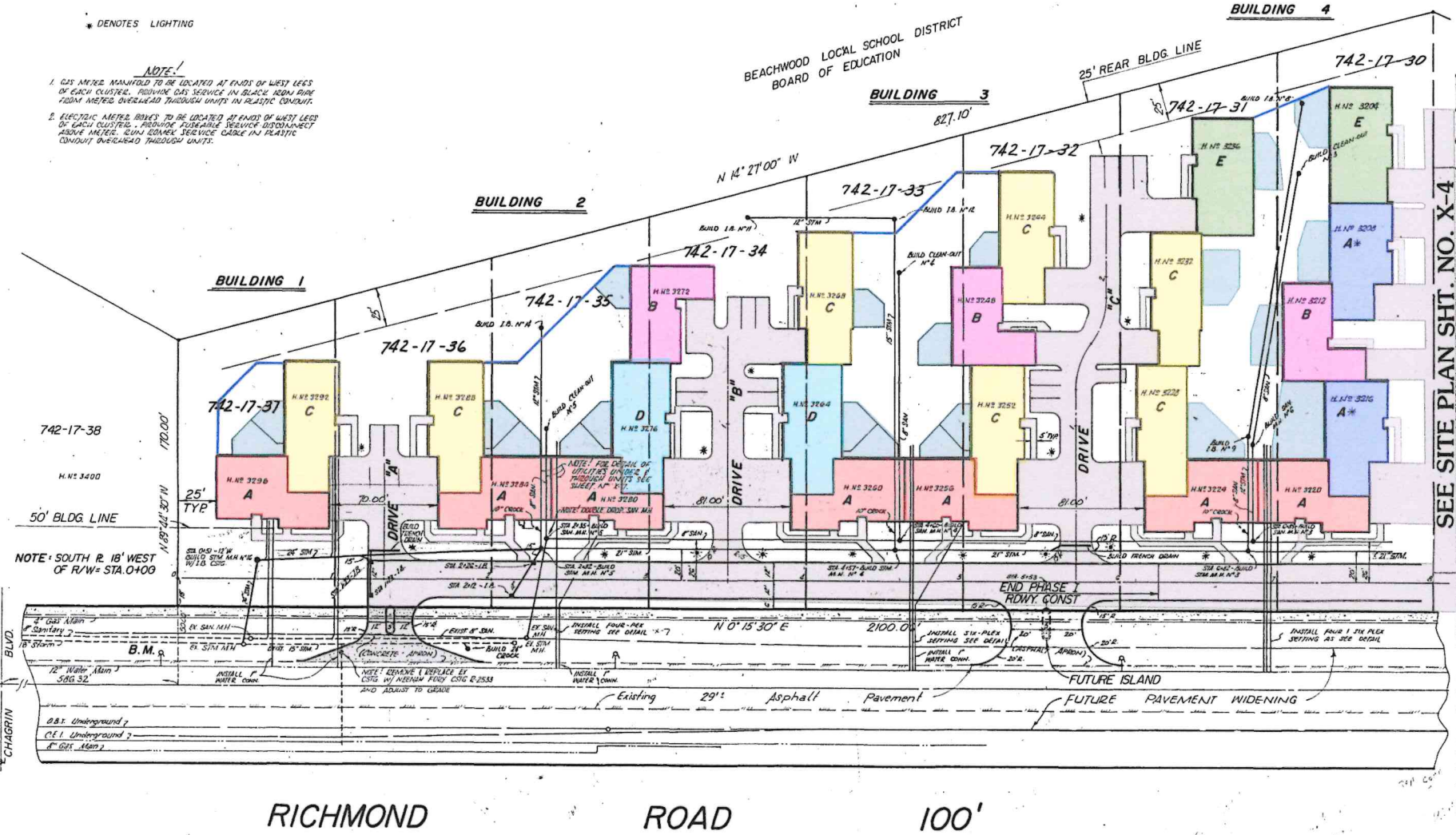
TOPOGRAPHY SURVEY, SITE & GRADING PLAN  
 PREPARED BY  
**ELEWSKI & ASSOCIATES INC.**  
 7311 VALLEY VIEW DRIVE  
 INDEPENDENCE, OHIO  
 44131  
*Donald R. Elewski*  
 DONALD R. ELEWSKI P.E. 28268



\* DENOTES LIGHTING

**NOTE:**

1. GAS METER MANIFOLD TO BE LOCATED AT ENDS OF WEST LEGS OF EACH CLUSTER. PROVIDE GAS SERVICE IN BLACK IRON PIPE FROM METERS OVERHEAD THROUGH UNITS IN PLASTIC CONDUIT.
2. ELECTRIC METER BOXES TO BE LOCATED AT ENDS OF WEST LEGS OF EACH CLUSTER. PROVIDE FEASIBLE SERVICE DISCONNECT ABOVE METERS. RUN BOMER SERVICE CABLE IN PLASTIC CONDUIT OVERHEAD THROUGH UNITS.



**KEEVA J. KEKST ASSOCIATES ARCHITECTS INC.**

**RICHMOND ROAD CONDOMINIUMS**  
 RICHMOND ROAD BEACHWOOD, OHIO  
 CONDOMINIUM FOR  
 CONDOMINIUM CONCEPTS INC.  
 CLEVELAND

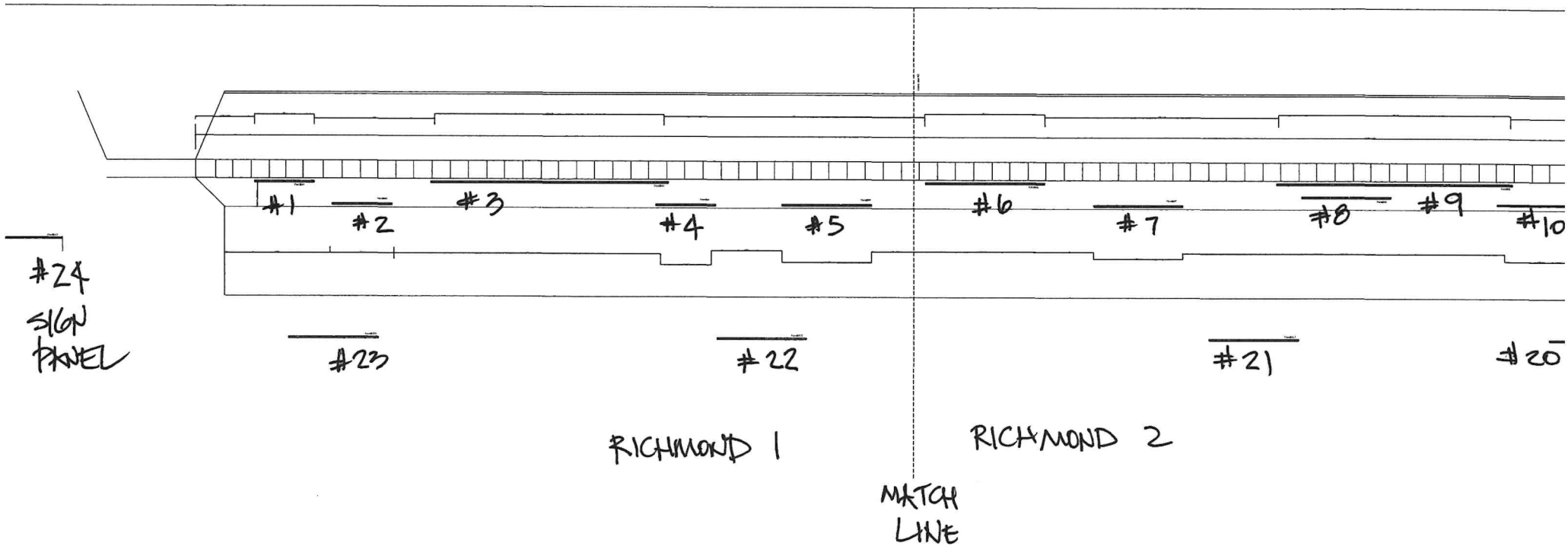
**SITE PLAN**

**X-3**

DOWN BY ROW  
 DATE 4/15/05  
 JOB NO. 05-425

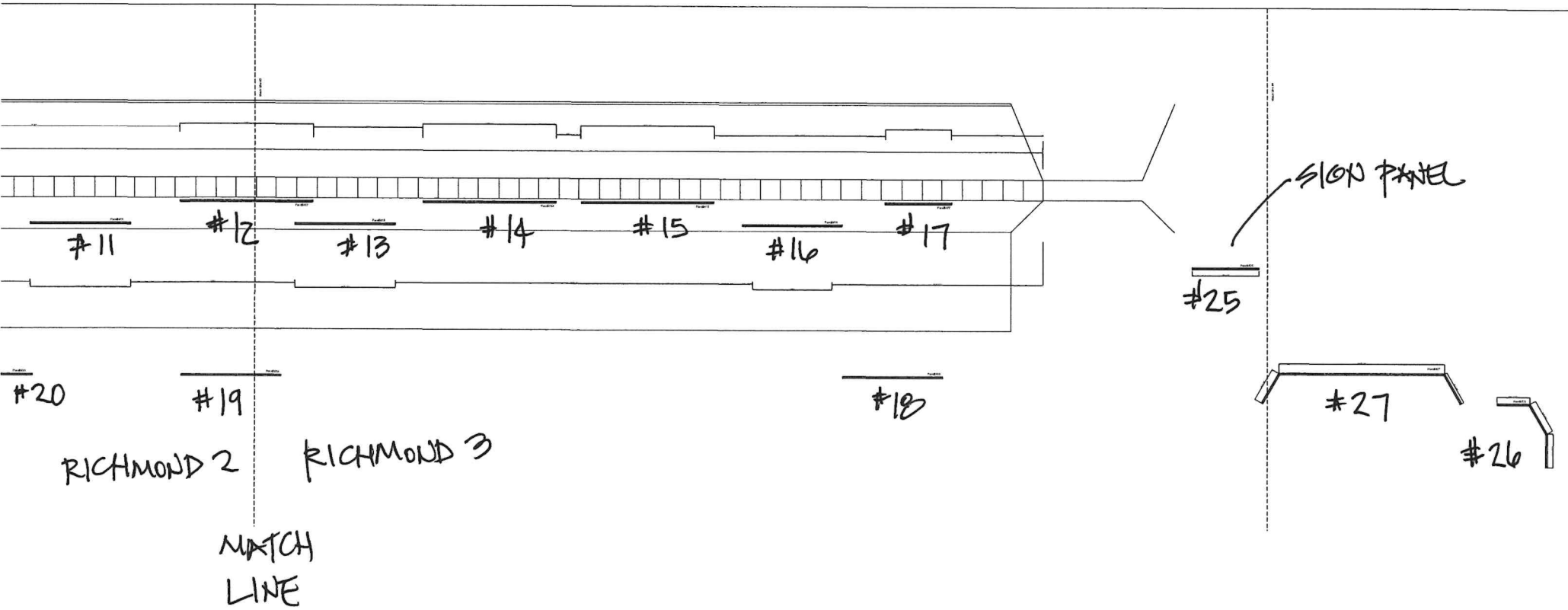
**RICHMOND ROAD 100'**

"B.M."  
 TOP OF HYDRANT  
 ELEV. = 1227.09



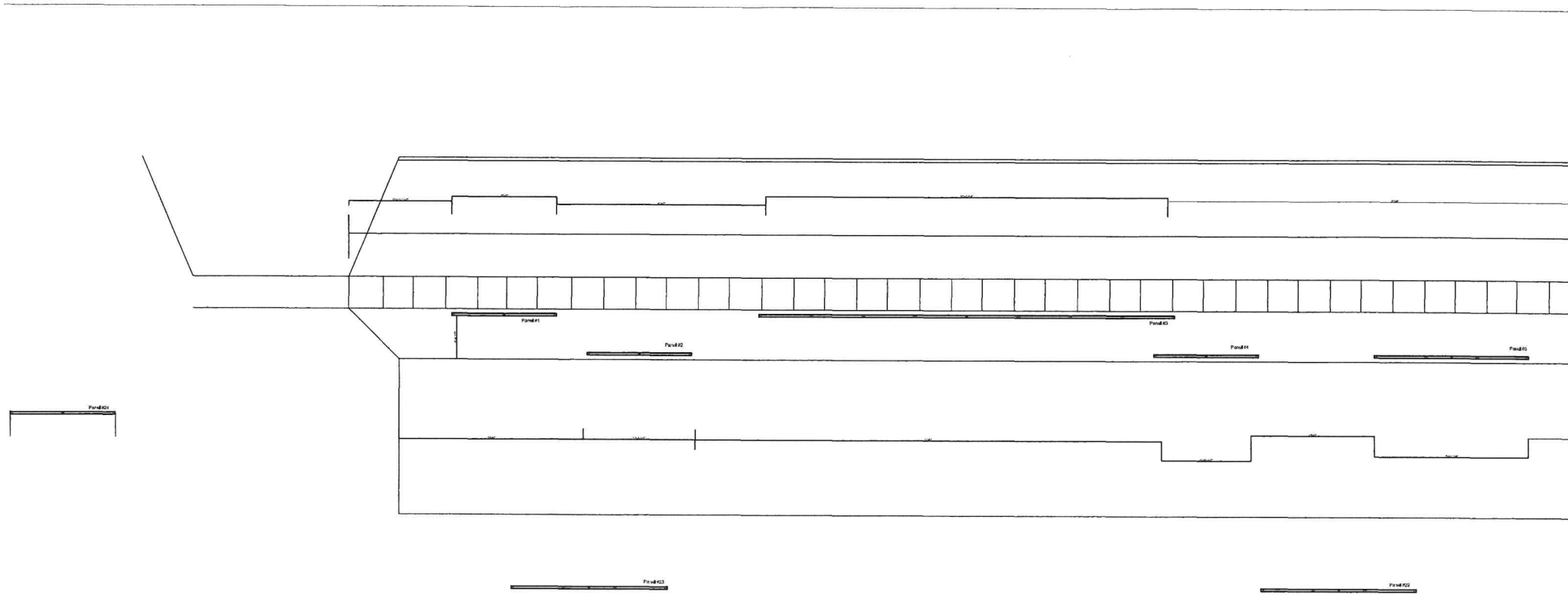
NORTH RICHMOND

**Baywood Estates  
 Condominium Association  
 3214 Richmond Road  
 Beachwood, OH 44122-4177**

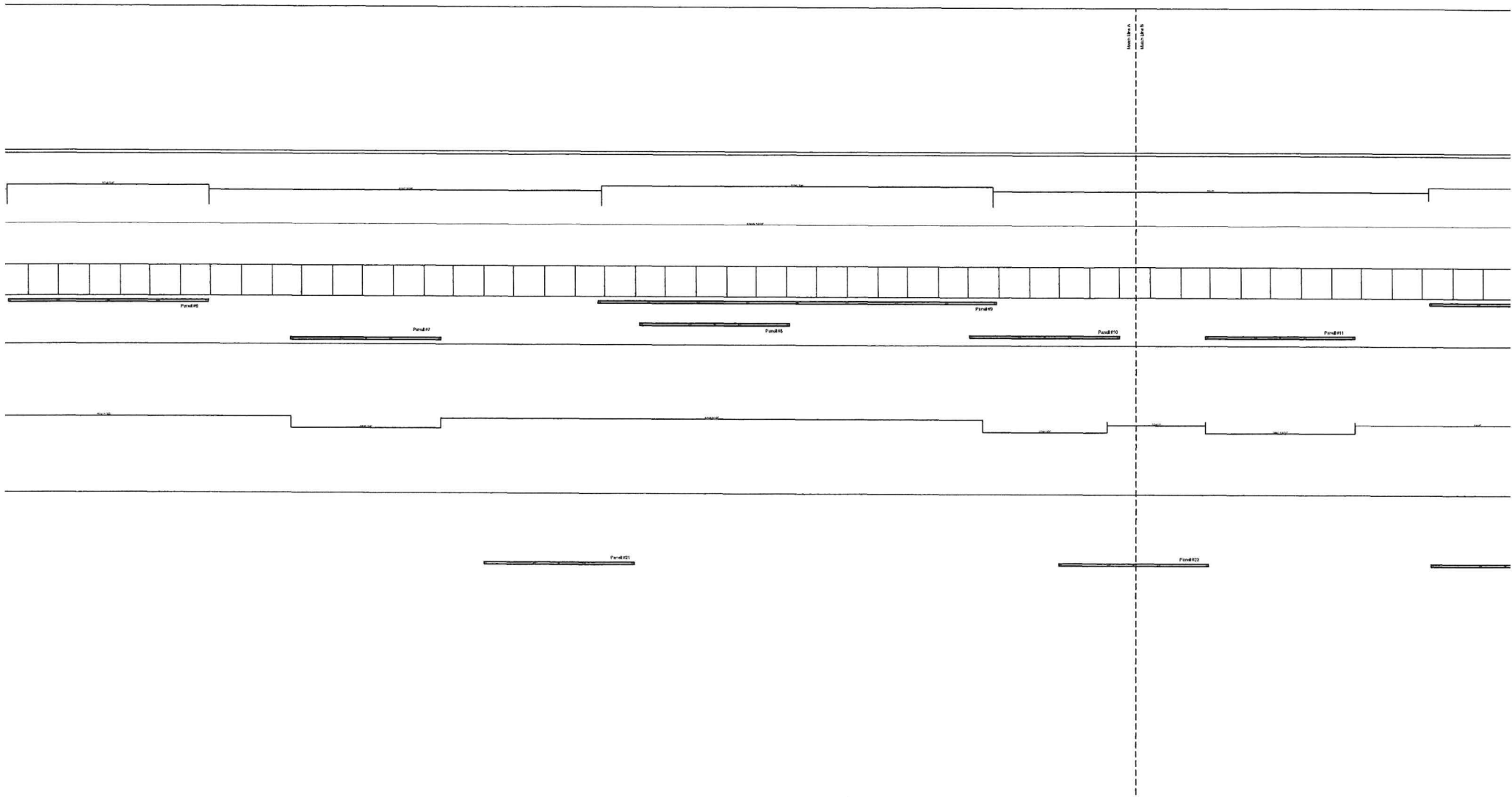


SOUTH RICHMOND

**Baywood Estates  
 Condominium Association  
 3214 Richmond Road  
 Beachwood, OH 44122-4177**

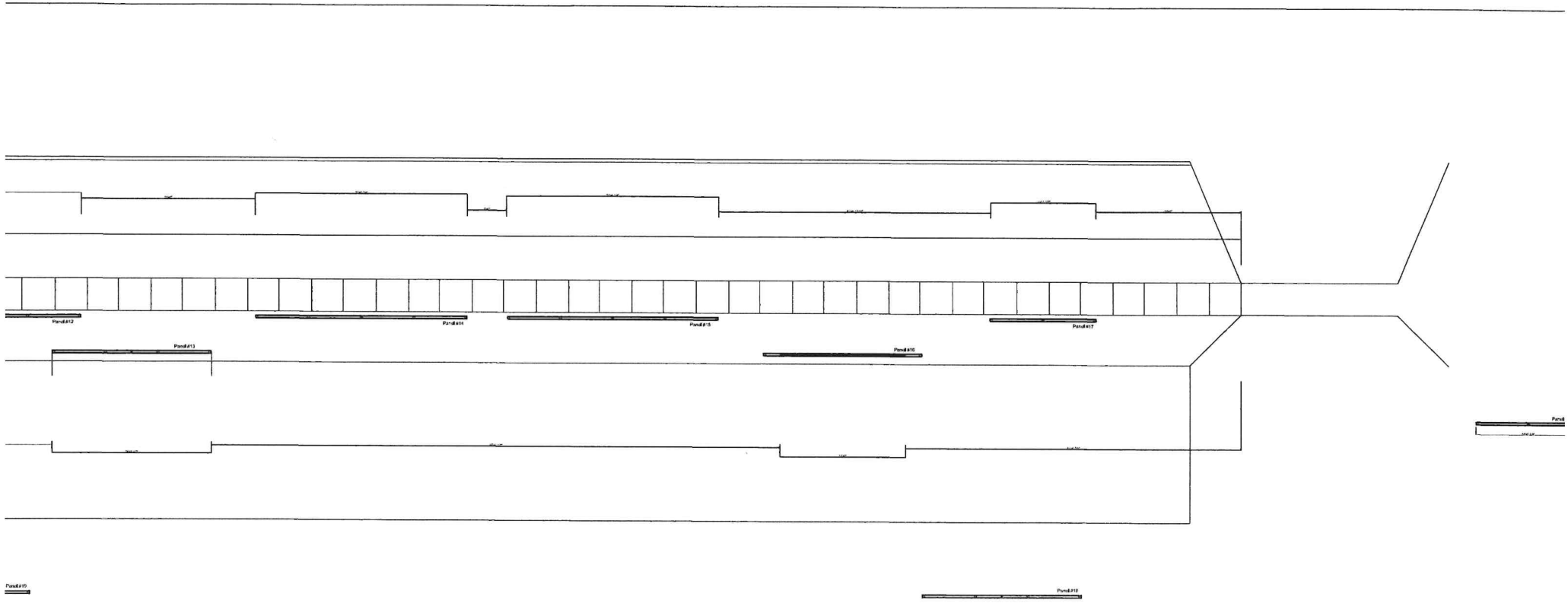


RICHMOND |  
**Baywood Estates  
Condominium Association  
3214 Richmond Road  
Beachwood, OH 44122-4177**



RICHMOND 2

**Baywood Estates  
Condominium Association  
3214 Richmond Road  
Beachwood, OH 44122-4177**



RICHMOND 3

**Baywood Estates  
Condominium Association  
3214 Richmond Road  
Beachwood, OH 44122-4177**









TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: June 11 2024

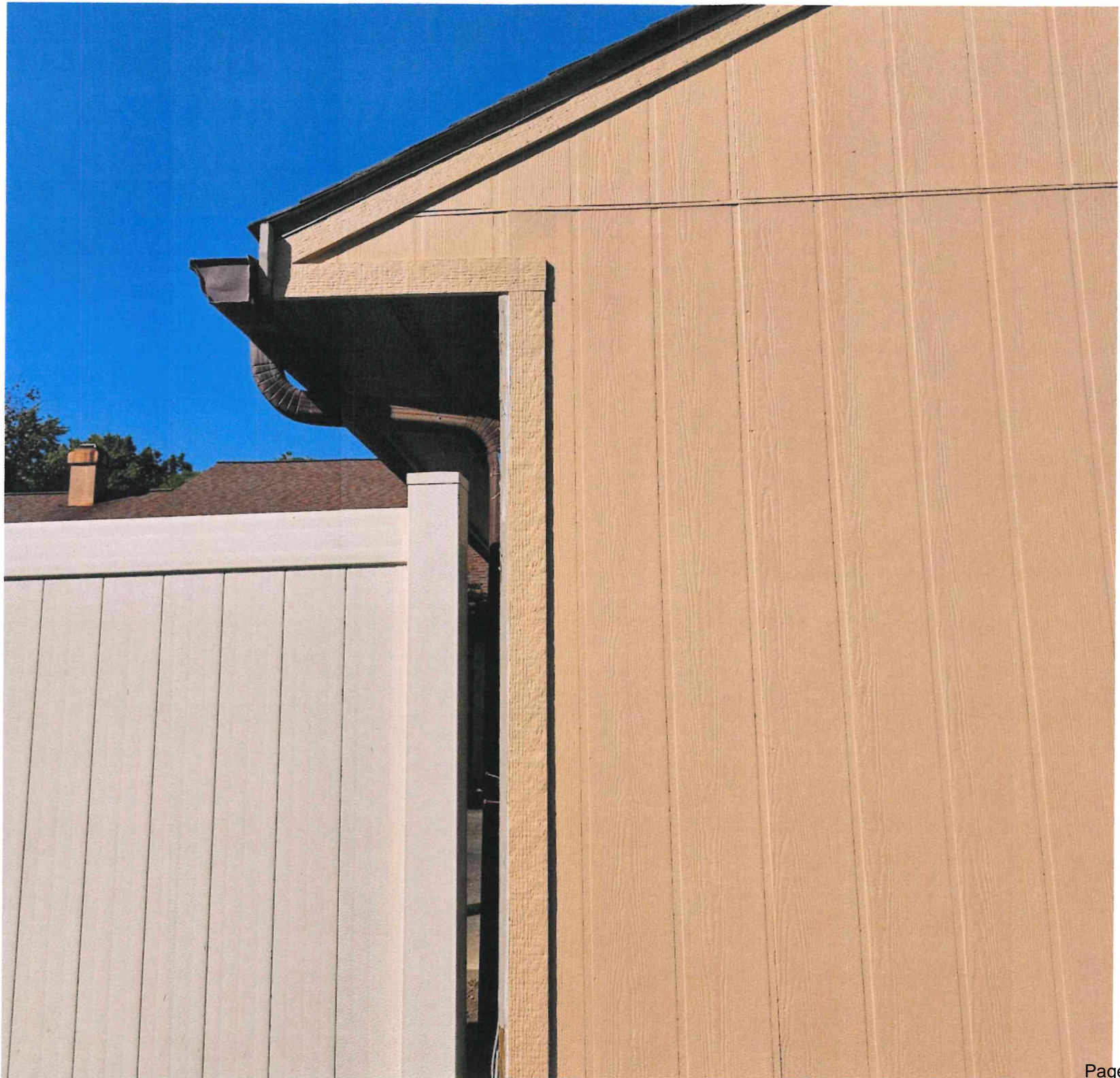
RE: **P&Z 2024-21 Superior Fence and Rail of Cleveland  
Baywood Estates Condominiums  
3292 Richmond Road  
Fence Variance  
Site Development Plan Approval**



This request is for both preliminary and final site development plan approval to located a vinyl privacy fence six (6) feet in height on the subject site. The property is zoned U-2A Attached Single-Family Residential District. The proposed fence would surround the outdoor patios of the two southernmost units of the condominium development. The intent is to shield the two dwelling units from the vehicular traffic on Bryden Road near its intersection with Richmond Road. Given the angle of Bryden Road, the two dwelling units are exposed to headlights as well as vehicular noise. The two patios have been screened with a board-on-board fence. The applicant is seeking a solid vinyl fence as a replacement. Section 1146.02(d)(9) prohibits solid fences in residential districts. In this instance, there is a unique circumstance where headlights from passing vehicles are directed at the patio area. The vinyl fence appears to be a reasonable replacement for the existing fence.

Since the variance is to Chapter 1146, the Commission has final authority to approve or deny the request. It is recommended that the Commission grant both preliminary and final site development plan approval subject to the following stipulations:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section 1146.02(d)(9) with regard to the style of fencing.
2. Granting a variance to Section 1146.02(d)(9) to permit the installation of a solid vinyl fence six (6) feet in height to enclose the outdoor patios.





FENCE ESTIMATE

Veterans Fence  
 12020 York Rd  
 North Royalton, OH 44133  
 (440) 596-9446

**Sales Representative**  
 Jonathan Klaczik  
 (440) 596-9098  
 jonk@veteransfence.net



**Baywood**  
**3208 Richmond Rd**  
**Beachwood, OH 44122**

|                   |          |
|-------------------|----------|
| <b>Estimate #</b> | 6495     |
| <b>Date</b>       | 3/4/2026 |

| Item          | Description   | Price       | Amount      |
|---------------|---|-------------|-------------|
| Fence Install | <p>Tear out and haul away:<br/>                     Approximately 800 lf of existing wood fence. Only necessary</p> <p>Furnish and install:<br/>                     Approximately 756 lf of 4' high Superior Outdoor Products Cambridge Clay privacy fence. Fence will have driven 2 1/2" WT40 galvanized steel posts, driven approximately 48-60", with vinyl posts sleeved over the steel posts.</p> <p>Also, Approximately 24 lf of 4' high 3-rail Antebellum Aluminum Fence on 2" .063 posts at fence located adjacent to the fence sign near the brush.</p> <p>Vinyl fence will have flat clay post caps.</p> | \$55,816.00 | \$55,816.00 |

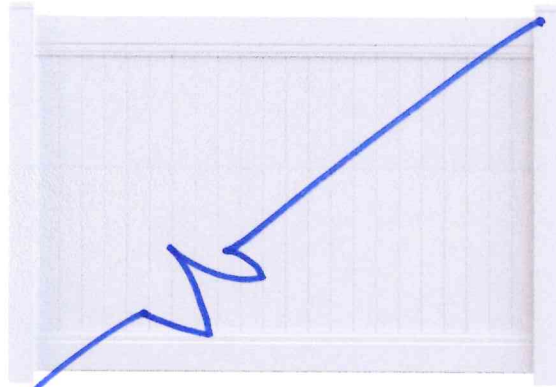
- PAYMENT OPTIONS**
- **Cash Job:** We accept cash, check and ACH (bank transfer). Payment is due upon completion of each trade.
  - **Insurance Claim:** Your first insurance check amount, deductible, or any upgrade/additional work is expected upon completion of each trade.
  - **Financing Job:** Upon completion of the job, we will send you a certificate of completion to the financing company. Any amounts above the financed amount must be paid in full upon completion of the job.
  - **Credit/Debit Card Payments:** A 2.9% fee may be added to the invoice amount. Visa, MasterCard, and all other major credit cards accepted.
  - **Late fee may apply after 15 days.**

|                  |             |
|------------------|-------------|
| <b>Sub Total</b> | \$55,816.00 |
| <b>Total</b>     | \$55,816.00 |

INDEPENDENT CONTRACTOR AGREEMENT VETERANS FENCE COMPANY

Contact Information  
 First Name: Phillip  
 Last Name: Soroky  
 psoroky@ullmanelectric.com  
 P: (216) 695-5603  
 3208 Richmond Rd  
 Beachwood, OH 44122

 BOSTON



Available Sizes:  
 48" ● 60" ●● 66" ● 72" ● 84" ● 96" ●

 CAMBRIDGE 



Available Sizes:  
 56.5" 70" 72" ●

● Standard ● Pool Fence





VINYL

SOLID VERTICAL PRIVACY

# NEWBURY

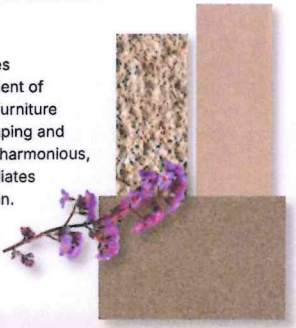
This gap-free profile stands the test of time, brisk winds and salt marsh air. Keep it timeless with smooth white, sand, clay or gray finishes. Or step it up a notch with textured, virtually maintenance-free woodgrains.

Shown in Weathered Blend

**DESIGN INSPIRATION**

**CLASSIC**

By weaving warm tones throughout every element of your backyard—from furniture and textiles to hardscaping and lighting—you create a harmonious, inviting retreat that radiates comfort and connection.



**PREMIUM** \$\$\$\$

TimberGrain™ Textured Woodgrains | LX Vinyl Construction

Premium Textured Finishes



WEATHERED BLEND SIERRA BLEND BRAZILIAN BLEND ARCTIC BLEND

**SELECT** \$\$\$

Smooth Woodgrains | Classic Vinyl Construction

Smooth Woodgrain Colors



WEATHERED ASPEN MESQUITE COASTAL CEDAR CYPRESS DARK WALNUT

**STANDARD** \$-\$

Timeless Solid Colors | Classic Vinyl Construction

Standard Smooth Solids



WHITE SAND CLAY GRAY

SIMILAR PRODUCT IMAGE TO CAMBRIDGE

**SIZES**

A wide range of sizes enables your Catalyst contractor to create just the right fit for your space.

**Width:**  
6' and 8'

**Height:**  
4', 5', 6', 7' and 8'  
*7' only available in premium colors*

**INNOVATIONS**

- ↔ StayStraight®
- ☀ SolarGuard®
- 🔒 GlideLock™
- ||| TimberGrain™

*Available on certain Standard and Select colors*

**GET THE SPECS**

Scan the QR code to see this product online with more product details, configurations and related accessories.



**STYLE INSPIRATION**

Want a similar look that's semi-private? Check out our Folly's cottage vibes.

Page 32





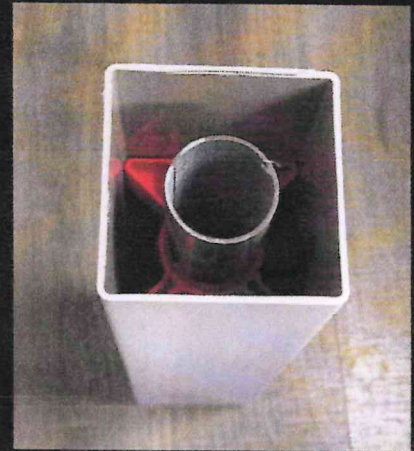
# VETERANS FENCE

— PROUD TO SERVE —

## Post Installation You Can Trust

- Our vinyl fences are built using 2½" x 9' Wt40 galvanized steel posts driven 48"-60" into the ground using professional-grade equipment, not set in shallow concrete. Each steel post is fitted with an X-donut attachment that locks the vinyl post in place once sleeved over, preventing movement and increasing overall strength.
- A stronger foundation means your fence stays straight, resists frost heave and wind, and maintains its appearance and performance for years to come.
- All installs come with a 5 Year Craftsmanship warranty.

## Vinyl Post With X Donut



## Billet Driving System



## X-Donut



## Rhino Hydraulic Post Driver



(440) 596-9446

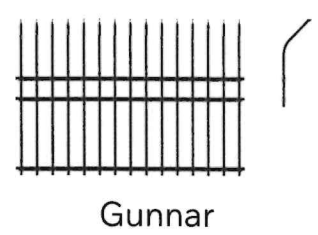
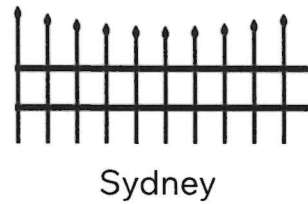
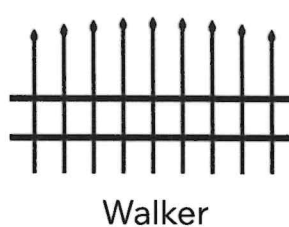
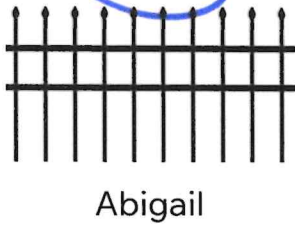
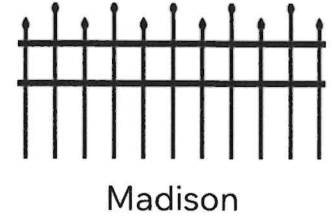
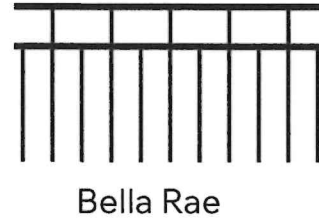
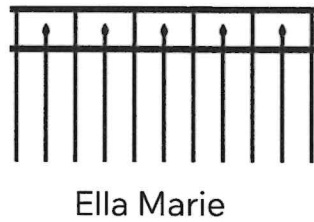
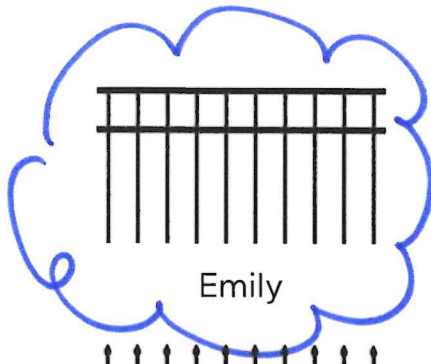
[www.veteransfences.com](http://www.veteransfences.com)

12020 York Rd, North Royalton, OH 44133

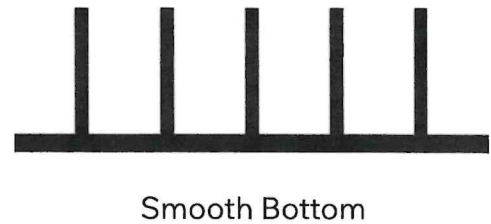
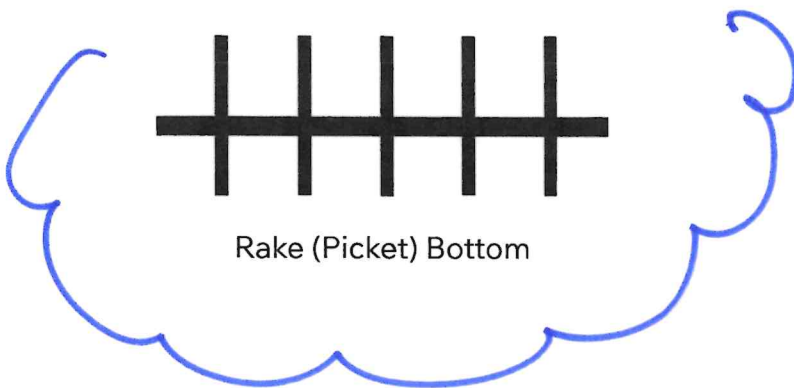
## Fence Styles

Our fence styles are named after our children, a reflection of the pride and care we put into every design.

In addition to our standard and most popular styles, Antebellum also offers several less common panel designs. Our custom style option allows you to match an existing specification, making it easier to integrate with ongoing or previously completed projects. We also offer an open picket style that gives you the option to add finials or plugs for added design flexibility.



At Antebellum, you can choose the panel bottom style that best fits your project. Options include a smooth bottom or a rake bottom, also known as a picket bottom. You also have the flexibility to mix and match panel bottoms to achieve your preferred look.



3-RAIL STYLE



COMPLETE SOLUTIONS

# MORE OPTIONS, MORE STYLES

Catalyst has the most choices from a single brand. With all your favorite styles, a choice of maintenance-free materials and options at every level, there's a fencing solution for every situation.

**VINYL & MOLDED**

Impeccable aesthetics without the upkeep

Privacy | Semi-Private | Picket | Ranch Rail

**MIXED MATERIAL**

Modern style and enduring performance

Privacy | Semi-Private

**COMPOSITE**

Strength and style at a smart value

Flat Top

**ALUMINUM**

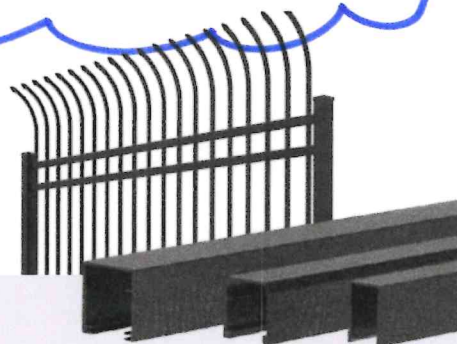
Timeless designs and open sightlines

Picket | Privacy | Ranch Rail

**GATES & ACCESSORIES**

Add function and finishing touches

Vinyl | Aluminum



## Catalyst Commercial Fences

Need a fence that's stronger, taller or just more customized? Our commercial fencing solutions include premium materials and styles with the extra size, strength and added features you need for large scale yards, controlled-access environments or other special requirements. See page 102 for more information.

**NEW**

# MANCHESTER COMPOSITE FENCE

**ALUMICAST™**

PATENT PENDING

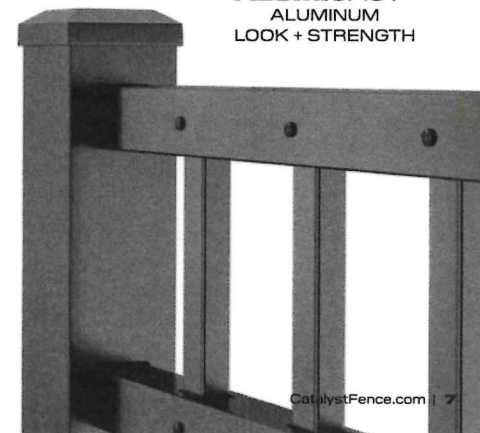
**ENJOY THE LOOK AND PERFORMANCE  
OF AN ALUMINUM FENCE WITHOUT PAYING A PREMIUM PRICE**

Our composite fencing pairs contemporary style with confident performance. Built with our proprietary Compositore® wood-free composite that resists rot, warping, splintering and mold, our newest profile performs beautifully through the seasons with practically zero maintenance.

### Benefits:

- ✓ AlumiCast™ technology delivers the strength and look of aluminum
- ✓ Compositore® construction outperforms wood with superior durability
- ✓ Designed for style, priced for value

See page 54 for more details



FENCE ESTIMATE

Veterans Fence  
 12020 York Rd  
 North Royalton, OH 44133  
 (440) 596-9446

**Sales Representative**  
 Jonathan Klaczik  
 (440) 596-9098  
 jonk@veteransfence.net



**Baywood**  
 3208 Richmond Rd  
 Beachwood, OH 44122

|            |           |
|------------|-----------|
| Estimate # | 5674      |
| Date       | 5/16/2025 |

| Item                              | Description  | Price       | Amount      |
|-----------------------------------|--|-------------|-------------|
| Fence Install<br><b>ALTERNATE</b> | Option 1: 4' High<br>STYLE TBD<br><br>Tear out and haul away approximately 800 lf of existing wood fence. Only necessary footers will be pulled. No existing footers will be left exposed at the surface.<br><br>Furnish & install: Approximately 800 lf of 4' high Catalyst (Breckenridge or Boulder) TBD fence in dark grey with flat post caps.<br><br>All posts will be set in approximate 10-12"x36" holes with concrete footers.<br><br>Note: "Breckenridge" & "Boulder" are both the same cost. | \$77,573.00 | \$77,573.00 |
| Fence Install<br><b>NA</b>        | Option 2: 6' High<br>STYLE TBD<br><br>Tear out and haul away approximately 800 lf of existing wood fence. Only necessary footers will be pulled. No existing footers will be left exposed at the surface.<br><br>Furnish & install: Approximately 800 lf of 6' high Catalyst (Breckenridge or Boulder) TBD fence in dark grey with flat post caps.<br><br>All posts will be set in approximate 10-12"x36" holes with concrete footers.<br><br>Note: "Breckenridge" & "Boulder" are both the same cost. | \$94,366.00 | \$94,366.00 |

MOLDED

MOLDED PRIVACY

# BOULDER

WITH SIMTEK® TECHNOLOGY

Transform your acreage with heavy, virtually rock-solid polyethylene panels engineered to absorb noise and resist impact. At 96" and 144" heights, the stackable units and earth tone colors blend in with suburban and rural settings.

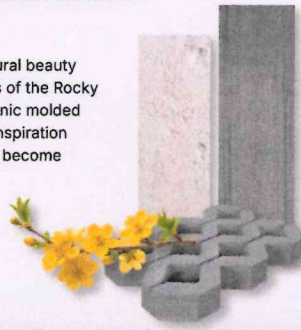


Shown in Dark Gray Granite

## DESIGN INSPIRATION

### RUGGED

Inspired by the natural beauty and towering peaks of the Rocky Mountains, this scenic molded barrier is an open inspiration to step outside and become one with nature.



## PREMIUM

\$\$\$

SimTek® Molded Panel Technology

### Premium Textured Finishes



BEIGE GRANITE

BROWN GRANITE

DARK BROWN GRANITE

GRAY GRANITE

DARK GRAY GRANITE

## SIZES

A wide range of sizes enables your Catalyst contractor to create just the right fit for your space.

**Width:**  
6' and 8'

**Height:**  
4', 6' and stackable to 8' and 12'

## INNOVATIONS

- ↔ StayStraight®
- ☀ SolarGuard®
- ◆ SimTek®

## GET THE SPECS

Scan the QR code to see this product online with more product details, configurations and related accessories.



## STYLE INSPIRATION

For an organic vibe in aluminum, see Highland's sculpted shadowbox profile.

Page 84



# Hardie® Panel vertical siding

Submittal Form

02

Submitted to: .....

Project Name: .....

Submitted by: .....

Date: .....

HZ5® Product Zone  HZ10® Product Zone

Product Width:  4x8ft  4x9ft  4x10ft  16inx12ft

Product Finish:  Primed  ColorPlus® Technology

Product Texture:  Smooth  Select Cedarmill®  Sierra 8  Stucco

# Hardie® Panel vertical siding

Specification Sheet

02

DIVISION: 07 00 00 THERMAL AND MOISTURE PROTECTION

SECTION: 07 46 46 FIBER CEMENT SIDING

## HARDIE® PANEL VERTICAL SIDING

### Manufacturer

James Hardie Building Products Inc.

The products are manufactured at the following locations, with quality control inspections by ICC-ES:

- Cleburne, Texas
- Plant City, Florida
- Reno, Nevada
- Waxahachie, Texas
- Prattville, Alabama
- Peru, Illinois
- Pulaski, Virginia
- Tacoma, Washington
- Fontana, California
- Summerville, South Carolina

### Compliance with the following codes

- 2006 thru 2021 International Building Code (IBC)
- 2006 thru 2021 International Residential Code (IRC)

For more information about other compliances and applicable uses, refer to the ESR-1844

### Features

- Noncombustible
- Dimensionally Stable
- Resistant to damage caused by pests
- Weather Resistant-Engineered for Climate®
- Impact resistant
- Sustainable

### Use

James Hardie fiber-cement panels are used as exterior wall covering. The product complies with IBC Section 1403.9 and IRC Section R703.10. The product may be used on exterior walls of buildings of Type I, II, III and IV construction (IBC).

### Description

Hardie® Panel vertical siding is a single-faced, cellulose fiber-reinforced cement (fiber-cement) product. Hardie® Panel vertical siding complies with ASTM C1186, as Grade II, Type A; has a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E84; and is classified as noncombustible when tested in accordance with ASTM E136.

### Available Sizes

| Product                       | Width (inches) | Length (feet) | Thickness (inches) |
|-------------------------------|----------------|---------------|--------------------|
| Hardie® Panel vertical siding | 48             | 8, 9*, 10     | 5/16               |

\* Size not available in ColorPlus® Technology, primed only.

Weight: 2.40 lbs. per square foot

### Texture & Finish

Hardie® Panel vertical siding comes in a variety of textures and finishes. The product is available in smooth, wood grain, Sierra 8, or stucco. Finish options are primed for field paint, or factory finished with ColorPlus® Technology. Color availability varies by region.

### Engineered for Climate®

Hardie® Panel vertical siding is engineered for performance to specific weather conditions by climate zones as identified by the following map.



**Performance Properties**

| General Property                   |                                 | Test Method                        | Unit or Characteristic             | Requirement   | Result |
|------------------------------------|---------------------------------|------------------------------------|------------------------------------|---|--------|
| PHYSICAL ATTRIBUTES                | Dimensional Tolerances          | ASTM C1185                         | Length                             | ± 0.5% or ± 1/4 in  | Pass   |
|                                    |                                 |                                    | Width                              | ± 0.5% or ± 1/4 in  |        |
|                                    |                                 |                                    | Thickness                          | ± 0.04 in   |        |
|                                    |                                 |                                    | Squareness                         | Δ in diagonals ≤ 1/32 in/ft of sheet length.<br>Opposite sheet sides shall not vary in length by more than 1/32 in/ft |        |
|                                    |                                 |                                    | Edge Straightness                  | ≤ 1/32 in/ft of length  |        |
|                                    | Density, lb/ft <sup>3</sup>     | ASTM C1185                         |                                    | As reported   | 83     |
|                                    | Water Absorption, % by mass     | ASTM C1185                         |                                    | As reported   | 36     |
|                                    | Water Tightness                 | ASTM C1185                         | Physical Observations              | No drop formation   | Pass   |
|                                    | Flexural Strength               | ASTM C1185                         | Wet conditioned, psi               | >1015 psi   | Pass   |
|                                    |                                 |                                    | Equilibrium conditioned, psi       | >1450 psi   |        |
| THERMAL                            | Thermal Conductivity            | ASTM C177                          | (BTU/(hr·ft <sup>2</sup> ·F))/inch |   | 2.07   |
|                                    | Actual Thermal Conductivity     |                                    | (K <sub>eff</sub> )                | As reported   | 6.62   |
|                                    | Thermal Resistance              |                                    | R=1/ K <sub>eff</sub>              |   | 0.48   |
|                                    | Actual Thermal Resistance       |                                    | (R)                                |   | 0.15   |
| DURABILITY                         | Warm Water Resistance           | ASTM C1185                         | Physical Observations              | No visible cracks or structural alteration  | Pass   |
|                                    | Heat/Rain Resistance            | ASTM C1185                         | Physical Observations              | No visible cracks or structural alteration  | Pass   |
|                                    | Freeze/Thaw Resistance          | ASTM C1185                         | Physical Observations              | No visible cracks or structural alteration  | Pass   |
|                                    |                                 |                                    | Mass Loss, %                       | ≤ 3.0%  |        |
|                                    |                                 | Freeze/Thaw, % strength retention  | ≥ 80%                              |   |        |
|                                    | UV Accelerated Weathering Test  | ASTM G23                           | Physical Observations              | No cracking, checking, or crazing   | Pass   |
| FIRE CHARACTERISTICS               | Surface Burning Characteristics | ASTM E84                           | Flame Spread Index (FSI)           |   | 0      |
|                                    |                                 |                                    | Smoke Developed Index (SDI)        |   | ≤ 5    |
|                                    |                                 |                                    | Fuel Contributed                   |   | 0      |
|                                    |                                 |                                    | NFPA Class                         |   | A      |
|                                    |                                 | Uniform Building Code Class        | As reported                        |   | 1      |
|                                    |                                 | International Building Code® class |                                    |   | A      |
|                                    | Noncombustibility               | ASTM E136                          | Noncombustible                     | Pass/fail   | Pass   |
| Fire Resistance Rated Construction | ASTM E119                       | Fire Resistance Rating             | 1-hour                             | Note 1  |        |

Note 1: listed on Warnock Hersey and ESR 1844

**Installation**

Install Hardie® Panel vertical siding in accordance with:

- Hardie® Panel vertical siding installation instructions
- ICC-ES ESR-1844
- Requirements of authorities having jurisdiction

**Warranty**

Hardie® Panel vertical siding: 30-year, Non-Prorated, Limited Warranty  
 ColorPlus® Technology: 15-year Limited Finish Warranty

**Sustainable Design Contribution**

- Regionally sourced content- varies by project location
- Avoidance of certain chemicals or Red List Compliance

Detailed product information for LEED projects, or other state or regional sustainability programs is available through James Hardie Technical Services.

**Storage and Handling**

Store flat and keep dry and covered prior to installation.

**Technical Services**

Contact James Hardie Technical Services online at JamesHardie.com, or by phone at (800)426-4051

**IMPORTANT:** Failure to install and finish this product in accordance with applicable building codes and James Hardie written application instructions may affect system performance, violate local building codes, void the product-only warranty and lead to personal injury. **DESIGN ADVICE:** Any information or assistance provided by James Hardie in relation to specific projects must be approved by the relevant specialists engaged for the project eg. builder, architect or engineer. James Hardie will not be responsible in connection with any such information or assistance.

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: May 11, 2026

RE: **P&Z 2026-12**      **Veterans Fence**  
**Baywood Estates Condominiums**  
**3208 - 3296 Richmond Road**  
**Preliminary and Final Site Plan Approval**  
**Fence Replacement**



---

This request is for both preliminary and final site development plan approval to replace approximately 800 lineal feet of privacy fencing. The existing fencing was approved as part of the final site development plan for Baywood Estates. The applicants are proposing to replace most of the existing wooden fencing with vinyl fencing that will match the height and color of the existing fencing. A small portion of approximately 24 lineal feet is proposed to be replaced with a 3-rail aluminum fence. This project represents a significant enhancement as the existing fence is in poor repair. The material change should reduce maintenance costs.

Both preliminary and final site plan approval are recommended subject to any comments or recommendations of the City Engineer.

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 28, 2026

Report Date: May 14, 2026

To: Traci Gallagher  
From: Joseph R. Ciuni P.E. P.S.  
City Engineer

**AGENDA ITEM - 7**

**P & Z 2026 -12**

**Phillip Soroky has requested preliminary and final site plan approval for replacement of sound/privacy panels located at 3208-3296 Richmond Road, Baywood Estates Condominiums.**

The Engineering Dept. has no objections to this request.

Fire Prevention Bureau

## **P&Z Report**

**To:** Planning and Zoning Commission  
**From:** Matthew Domonkos, Assistant Chief  
**Date:** 05/07/2026  
**Re:** P&Z # 2026-12 3208-3296 Richmond (Privacy Panels)

---

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

**PLANNING & ZONING APPLICATION**

**Form must be completed or will not be processed**

APPLICATION DATE: \_\_\_\_\_

**OWNER OF BUILDING:** Cleveland Clinic Foundation PHONE: 216-904-5411

STREET ADDRESS: 9500 Euclid Avenue

CITY/STATE/ZIP: Cleveland, OH 44195

**APPLICANT:** Alpesh Chavda PHONE: 6146381639

COMPANY OR FIRM: The Osborn Engineering Company

EMAIL: achavda@osborn-eng.com

STREET ADDRESS: 130 E Chestnut St, Suite 401

CITY/STATE/ZIP: Columbus, OH 43215

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**

Allan Balaara (balaara@ccf.org) and Lyly Huyen (huyenl@ccf.org)

Delthia Mckinney (delthia.mckinney@flyzipline.com) and Stephanie Cookie - Remotely

**DESCRIPTION OF THE PROPERTY:**

ADDRESS: 3175 Science Park Dr, Beachwood, OH 44122 SUITE # \_\_\_\_\_

TENANT NAME: Cleveland Clinic Foundation

PERMANENT PARCEL # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ PRESENT USE: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_

**PURPOSE OF APPLICATION:** Power supply and foundation pad for a Zipline drone loading station and a "QUAD Dock Tower" charging station.

**NATURE OF THE REQUEST (check as many as apply):**

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other Drone charging station pad
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application. Please explain reason for variance (**must indicate a hardship**):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. \_\_\_\_\_

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor’s GIS website or Google Earth).
- Attach copy of the Auditor’s Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

**\*IMPORTANT NOTE: The City of Beachwood will never request wire transfers via email. Any fees or approvals will only be communicated through official city channels.**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

|     | <u>Zoning District</u>  | <u>Fee</u>        |
|-----|---|-------------------|
| (1) | U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances<br>Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder’s Office. | <b>\$300.00</b>   |
| (2) | All other Zoning Districts for site development plan review (new building/addition)   | <b>\$5,000.00</b> |
| (3) | All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder’s Office  | <b>\$1,500.00</b> |
| (4) | For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use  | <b>\$750.00</b>   |
| (5) | Map Amendment   | <b>\$2,500.00</b> |

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

Digitally signed by Alpesh Chavda  
Date: 2026.04.21 09:01:35-04'00'  
SIGNATURE

Alpesh Chavda  
PRINTED NAME

4/21/26  
DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_  
Date

Final Approval: \_\_\_\_\_  
Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_

**Primary Owner** CLEVELAND CLINIC FOUNDATION  
**Property Address** 25900 SCIENCE PARK DR BEACHWOOD, OH 44122  
**Tax Mailing Address** CLEVELAND CLINIC FOUNDATION 1950 RICHMOND RD LYNDHURST, OH 44124  
**Description** VOL 385 PG 21 PARCEL B REMAINDER FF 484.87 17.673 ACRES 50 OL ADDITIONAL PARCELS 74219007 74219008 74219010 74219011 74219012 AND 74219015 2017 SR  
**Property Class** EXEMPT CHARITABLE USES  
**Parcel Number** 742-19-017  
**Taxset**  
**Tax Year** 2025 Pay 2026

[PAY BY E-CHECK OR CREDIT/DEBIT CARD](#)

## Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

| Taxable Assessed Values |           |
|-------------------------|-----------|
| Land Value              | \$        |
| Building Value          | \$        |
| <b>Total Value</b>      | <b>\$</b> |

| Taxable Market Values |           |
|-----------------------|-----------|
| Land Value            | \$        |
| Building Value        | \$        |
| <b>Total Value</b>    | <b>\$</b> |

| Flags                  |   |
|------------------------|---|
| Owner Occupancy Credit | N |
| Homestead Reduction    | N |
| Foreclosure            | N |
| Cert. Pending          | N |
| Cert. Sold             | N |
| Payment Plan           | N |

| First Half Year Charge Amounts |                   |
|--------------------------------|-------------------|
| Gross Tax                      | \$0.00            |
| Less 920 Reduction             | \$0.00            |
| <b>Sub Total</b>               | <b>\$0.00</b>     |
| Non-business Credit            | \$0.00            |
| Owner Occupancy Credit         | \$0.00            |
| Homestead Reduction            | \$0.00            |
| Total Assessments              | \$1,197.15        |
| <b>Half Year Net Taxes</b>     | <b>\$1,197.15</b> |

| Second Half Year Charge Amounts |                   |
|---------------------------------|-------------------|
| Gross Tax                       | \$0.00            |
| Less 920 Reduction              | \$0.00            |
| <b>Sub Total</b>                | <b>\$0.00</b>     |
| Non-business Credit             | \$0.00            |
| Owner Occupancy Credit          | \$0.00            |
| Homestead Reduction             | \$0.00            |
| Total Assessments               | \$1,197.15        |
| <b>Half Year Net Taxes</b>      | <b>\$1,197.15</b> |

| Rates                 |     |
|-----------------------|-----|
| Full Rate             | .00 |
| 920 Reduction Rate    |     |
| <b>Effective Rate</b> |     |

| Escrow         |        |
|----------------|--------|
| Escrow         | N      |
| Payment Amount | \$0.00 |

| Tax Balance Summary | Charges    | Payments   | Balance Due |
|---------------------|------------|------------|-------------|
|                     | \$2,394.30 | \$1,197.15 | \$1,197.15  |

### 2025 (pay in 2026) Charge and Payment Detail

| Taxset                     | Charge Type         | Charges    | Payments   | Balance Due |
|----------------------------|---------------------|------------|------------|-------------|
| Taxset                     | 1st half tax        | \$0.00     | \$0.00     | \$0.00      |
|                            | 1ST HALF BALANCE    | \$0.00     | \$0.00     | \$0.00      |
|                            | 2nd half tax        | \$0.00     | \$0.00     | \$0.00      |
|                            | 2ND HALF BALANCE    | \$0.00     | \$0.00     | \$0.00      |
| C100030C-SEWER MAINTENANCE | 1st half tax - 2025 | \$1,197.15 | \$1,197.15 | \$0.00      |
|                            | 1ST HALF BALANCE    | \$1,197.15 | \$1,197.15 | \$0.00      |
|                            | 2nd half tax - 2025 | \$1,197.15 | \$0.00     | \$1,197.15  |
|                            | 2ND HALF BALANCE    | \$1,197.15 | \$0.00     | \$1,197.15  |
| C100030S-Sewer Maintenance | 1st half tax - 2025 | \$0.00     | \$0.00     | \$0.00      |
|                            | 1ST HALF BALANCE    | \$0.00     | \$0.00     | \$0.00      |
| Total Balance              |                     | \$2,394.30 | \$1,197.15 | \$1,197.15  |

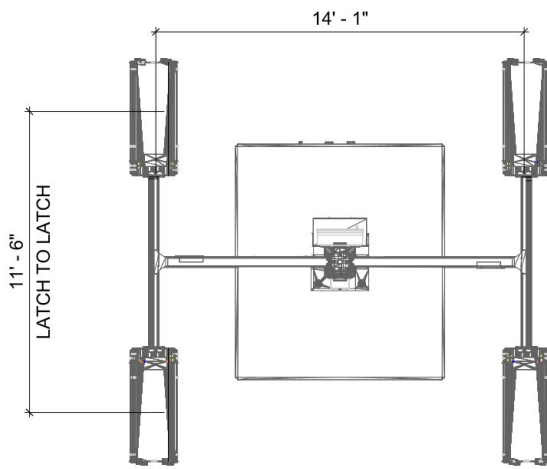
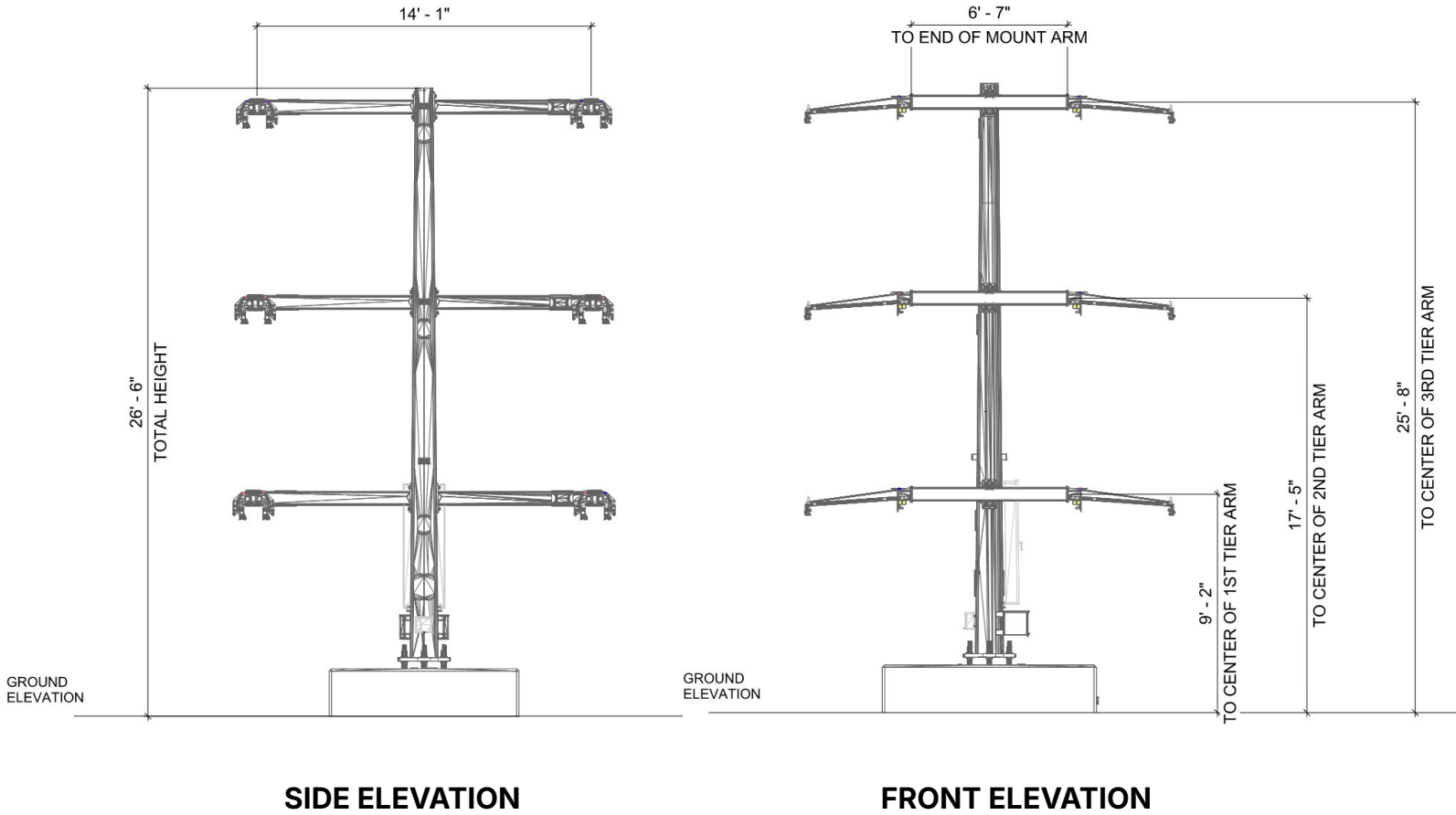
[PAY BY E-CHECK OR CREDIT/DEBIT CARD](#)

[View Map](#)

CCF - ACIV Ops Drone Delivery



# 12-DOCK TOWER DIMENSIONS

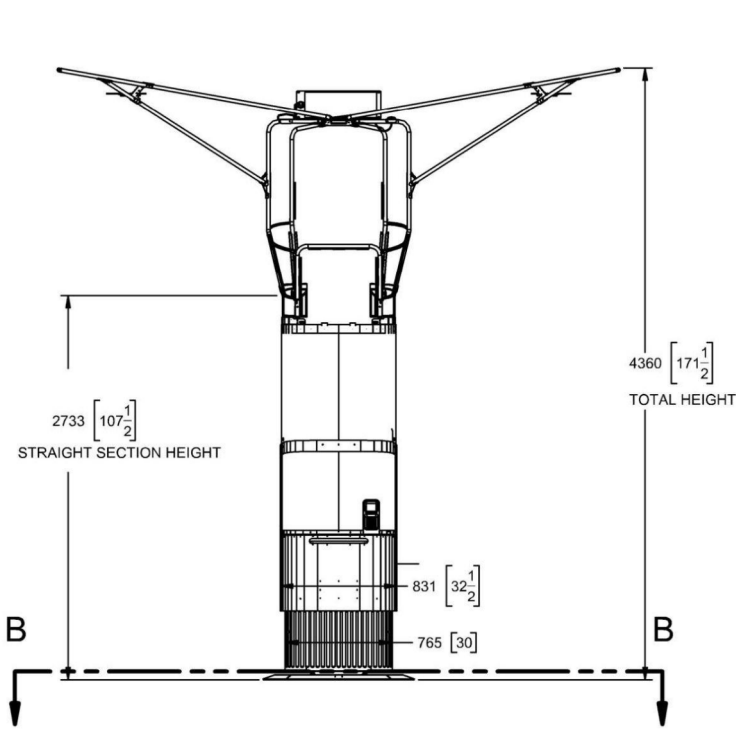


**PLAN VIEW**

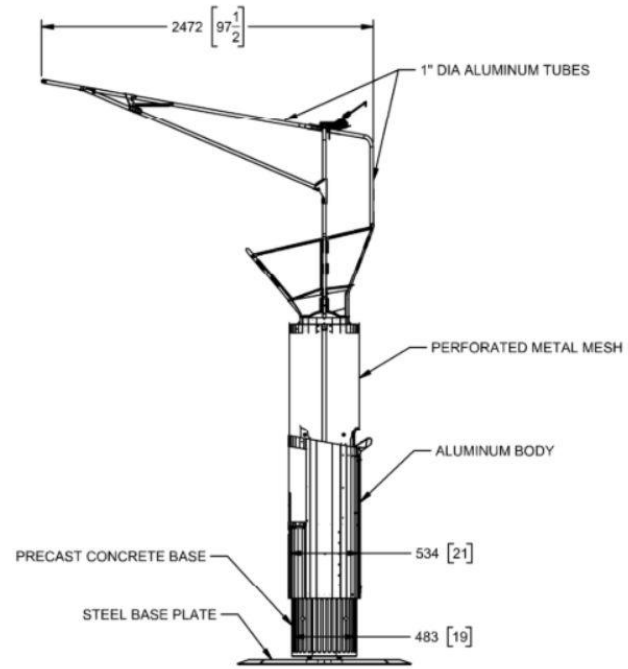
NOTE: Fence, Zip, and Dock not shown for clarity.

# Ziping Point V4

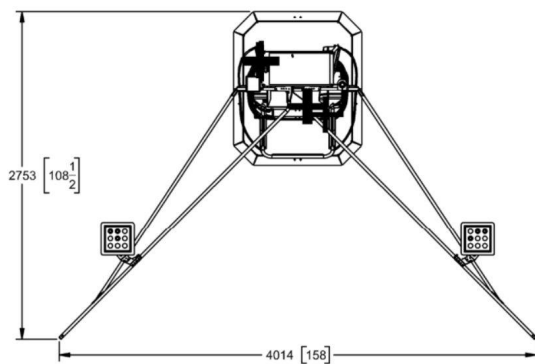
## PRODUCT DIMENSIONS



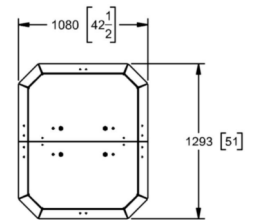
**FRONT ELEVATION**



**SIDE ELEVATION**



**PLAN VIEW**



**SECTION B-B**

Note: All dimensions are in millimeters [inches]









P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: May 11, 2026

RE: **P&Z 2026-13 Osborn Engineering Company  
Cleveland Clinic Foundation  
3175 Science Park Drive  
Preliminary and Final Site Plan Approval  
Drone Delivery System**

This request is for both preliminary and final site development plan approval to install a drone delivery system. The improvements include a Zipline drone loading station and a QUAD dock charging tower. The Zipline loading station is 17.5 feet in height with a concrete pad and would be located behind (to the east) of the existing building. The loading station will not be visible from the street.

The drone charging station would be located on a concrete pad that is 47 feet X 57 feet. The charging tower is 26.5 feet in height with docking / charging stations for twelve (12) drones. The charging tower would be surrounded by a fence eight (8) feet in height. The charging tower and compound would be located north of the existing building adjacent to the existing walkway. The proposed location is approximately 100 feet from the right-of-way line of I-271.

The subject site is in the U-9 Motor Service District. There are no zoning or setback issues associated with this request. The pads and towers comply with setback and height requirements for the U-9 District. Air space issues are controlled by the FAA. Any safety issues will need to be addressed by Police and Fire.

Both preliminary and final site plan approval are recommended subject to any comments or recommendations of the City Engineer, Fire Department, and Police Department.

## MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 28, 2026

Report Date: May 14, 2026

To: Traci Gallagher  
From: Joseph R. Ciuni P.E. P.S.  
City Engineer

### **AGENDA ITEM - 8**

**P & Z 2026 -13**

**Alpesh Chavda has requested preliminary and final site plan approval for a drone charging pad to be located at 3175 Science Park Drive, Cleveland Clinic.**

We have reviewed the civil plans and have no objections to this submittal. We hereby recommend approval.

Fire Prevention Bureau

## P&Z Report

**To:** Planning and Zoning Commission  
**From:** Matthew Domonkos, Assistant Chief  
**Date:** 05/07/2026  
**Re:** P&Z # 2026-13 3175 Science Park (Drone Station)

---

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

INTRODUCED BY:

ORDINANCE NO. 2026-19

AN ORDINANCE REZONING 2547 EDGEWOOD DRIVE (PPN# 741-08-034), 2555 EDGEWOOD DRIVE (PPN# 741-08-036), AND 2561 EDGEWOOD DRIVE (PPN# 741-08-037) FROM U-1 SINGLE FAMILY RESIDENTIAL DISTRICT TO U-5 PUBLIC AND INSTITUTIONAL DISTRICT

WHEREAS, Bais Avrohom Congregation has requested the rezoning of 2547 Edgewood Drive (PPN# 741-08-034), 2555 Edgewood Drive (PPN# 741-08-036), and 2561 Edgewood Drive (PPN# 741-08-037) from U-1 Single Family Residential District to U-5 Public and Institutional District; and

WHEREAS, Council must refer such requested rezonings to the City's Planning and Zoning Commission for study, a report, and a recommendation in accordance with Beachwood Codified Ordinance Section 1107.01.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Beachwood, County of Cuyahoga, and State of Ohio, that:

Section 1: The Council of the City of Beachwood, having received a request for the rezoning of 2547 Edgewood Drive (PPN# 741-08-034), 2555 Edgewood Drive (PPN# 741-08-036), and 2561 Edgewood Drive (PPN# 741-08-037) from U-1 Single Family Residential District to U-5 Public and Institutional District, places this issue and said rezoning on first reading, and refers the proposed rezoning to the Planning and Zoning Commission for its study, report and recommendation.

Upon Council's receipt of the recommendation of the Planning and Zoning Commission, the issue of rezoning of 2547 Edgewood Drive (PPN# 741-08-034), 2555 Edgewood Drive (PPN# 741-08-036), and 2561 Edgewood Drive (PPN# 741-08-037) from U-1 Single Family Residential District to U-5 Public and Institutional District shall be set for a public hearing and/or referred to a Committee of Council for consideration.

If referred to a public hearing, said public hearing shall be held no less than 30 days after the Planning and Zoning Commission's referral back to Council of its recommendation.

If referred to a Committee of Council, a public hearing shall be set after Council's receipt of the report of the Committee.

This Ordinance shall be read by Council on three separate occasions and if it is passed, the proposed rezoning shall become effective upon the operation of law.

Section 2: It is found and determined that all formal actions and deliberations of Council and its committees relating to the passage of this legislation that resulted in formal action were in meetings open to the public where required by Chapter 105 of the Codified Ordinances of the City.

ORDINANCE NO. 2026-19

WHEREFORE, this Ordinance shall be in full force and effect from and after the earliest date permitted by law.

Attest: I hereby certify this legislation was duly adopted on the \_\_\_\_ day of \_\_\_\_\_, 2026 and presented to the Mayor for approval or rejection in accordance with Article III, Section 8 of the Charter on the \_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Clerk

Approval: I have approved this legislation this \_\_\_\_ day of \_\_\_\_\_, 2026 and filed it with the Clerk.

\_\_\_\_\_  
Mayor

## PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 8/15/2025

OWNER OF BUILDING: 2555 Edgewood Dr LLC & Rik Enterprises, LLC PHONE: 216-242-7192

STREET ADDRESS: 2555 Edgewood Dr & 2561 Edgewood Dr.

CITY/STATE/ZIP: Beachwood, Ohio 44122

APPLICANT: Bais Avraham (DBA) PHONE: 216-924-1162

COMPANY OR FIRM: Bais Avraham Congregation

EMAIL: aktivashavel@gmail.com

STREET ADDRESS: 2555 Edgewood Dr.

CITY/STATE/ZIP: Beachwood, Ohio 44122

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Rabbi Nissim Avrin (Rabbi), Aaron Euvchik (Attorney), Akiva Shavel (Rep), not limited to  
nissim@brin@gmail.com, aeuvchik@ohio.com, aktivashavel@gmail.com

DESCRIPTION OF THE PROPERTY:

ADDRESS: 2555 Edgewood Dr & 2561 Edgewood Dr. Beachwood, OH 44122 SUITE # \_\_\_\_\_

TENANT NAME: Bais Avraham Congregation

PERMANENT PARCEL # 741-08-031 PRESENT USE: UI Res PROPOSED USE: U5 Public Inst.

PURPOSE OF APPLICATION: Rezone from residential to congregational use

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other \_\_\_\_\_
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

To accommodate congregational needs and parking requirements

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. \_\_\_\_\_

\*\*\*\*\* CONTINUED ON NEXT PAGE\*\*\*\*\*

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

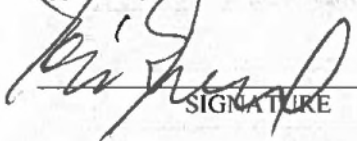
**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

|     | <u>Zoning District</u>  | <u>Fee</u> |
|-----|---|------------|
| (1) | U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances<br>Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office. | \$300.00   |
| (2) | All other Zoning Districts for site development plan review (new building/addition)   | \$5,000.00 |
| (3) | All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office  | \$1,500.00 |
| (4) | For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use  | \$750.00   |
| (5) | Map Amendment   | \$2,500.00 |

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans

  
SIGNATURE

Akiva Shavel, Representative      9/15/25  
PRINTED NAME      DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE:      RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_ Date      Final Approval: \_\_\_\_\_ Date

Recommendation to Council:     YES     NO    Meeting Date: \_\_\_\_\_



# CUYAHOGA COUNTY, *Ohio*

## MyPlace

**Please be advised that the Fiscal Office identified a clerical error that was submitted to the State of Ohio. This error resulted in an incorrect tax rate calculation for Class II properties only (Commercial/ Industrial) for Tax Year 2024/Collection Year 2025. The Fiscal Office worked with the State of Ohio to correct the error. The correction will appear on tax bills due in February 2026 as an omitted tax.**

**\*THIS DOES NOT AFFECT RESIDENTIAL PROPERTY\***

**For questions, please call 216-443-7420, Option 3 (Appraisal Department).**

Search

City

Search By  Owner  Parcel  Address

### PROPERTY DATA

- General Information
- Transfers
- Values
- Land
- Building Information
- Building Sketch
- Other Improvements
- Permits
- Property Summary Report

### TAXES

- Tax By Year
- Pay Your Taxes Online

### LEGAL RECORDINGS

- Get a Document List

## ACTIVITY

Informal Reviews

Board of Revisions Cases

### Primary Owner

2547 EDGEWOOD DRIVE LLC

### Property Address

2547 EDGEWOOD DR BEACHWOOD, OH 44122

### Tax Mailing Address

2547 EDGEWOOD DRIVE LLC 200 PARK AVE SUITE 216 BEACHWOOD, OH 44122

### Description

18 FAIRGREEN &S/L245 SP 0244 NP 74108035

### Property Class

RESIDENTIAL VACANT LAND

### Parcel Number

741-08-034

### Taxset

Beachwood

### Tax Year

2025 Pay 2026 ▼

## Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

### Taxable Assessed Values

|                |                 |
|----------------|-----------------|
| Land Value     | \$20,790        |
| Building Value | \$              |
| Total Value    | <u>\$20,790</u> |

### First Half Year Charge Amounts

|                        |                 |
|------------------------|-----------------|
| Gross Tax              | \$1,265.18      |
| Less 920 Reduction     | \$687.41        |
| Sub Total              | \$577.77        |
| Non-business Credit    | \$43.39         |
| Owner Occupancy Credit | \$0.00          |
| Homestead Reduction    | \$0.00          |
| Total Assessments      | <u>\$45.00</u>  |
| Half Year Net Taxes    | <u>\$579.38</u> |

### Taxable Market Values

|                |                 |
|----------------|-----------------|
| Land Value     | \$59,400        |
| Building Value | \$              |
| Total Value    | <u>\$59,400</u> |

Second Half Year Charge Amounts

|                        |            |
|------------------------|------------|
| Gross Tax              | \$1,265.18 |
| Less 920 Reduction     | \$687.41   |
| Sub Total              | \$577.77   |
| Non-business Credit    | \$43.39    |
| Owner Occupancy Credit | \$ .00     |
| Homestead Reduction    | \$ .00     |
| Total Assessments      | \$45.00    |
| Half Year Net Taxes    | \$579.38   |

Flags

|                        |   |
|------------------------|---|
| Owner Occupancy Credit | N |
| Homestead Reduction    | N |
| Foreclosure            | N |
| Cert. Pending          | N |
| Cert. Sold             | N |
| Payment Plan           | N |

Rates

|                    |           |
|--------------------|-----------|
| Full Rate          | 121.71    |
| 920 Reduction Rate | .543333   |
| Effective Rate     | 55.581001 |

Escrow

|                |        |
|----------------|--------|
| Escrow         | N      |
| Payment Amount | \$ .00 |

Tax Balance Summary

Charges

**\$1,158.76**

Payments

**\$1,158.76**

Balance Due

**\$ .00**

**2025 (pay in 2026) Charge and Payment Detail**

| Taxset                            | Charge Type         | Charges  | Payments | Balance Due |
|-----------------------------------|---------------------|----------|----------|-------------|
| <b>Beachwood</b>                  |                     |          |          |             |
|                                   | 1st half tax        | \$534.38 | \$534.38 | \$ .00      |
|                                   | 1ST HALF BALANCE    | \$534.38 | \$534.38 | \$ .00      |
|                                   | 2nd half tax        | \$534.38 | \$534.38 | \$ .00      |
|                                   | 2ND HALF BALANCE    | \$534.38 | \$534.38 | \$ .00      |
| <b>C100030C-SEWER MAINTENANCE</b> |                     |          |          |             |
|                                   | 1st half tax - 2025 | \$45.00  | \$45.00  | \$ .00      |
|                                   | 1ST HALF BALANCE    | \$45.00  | \$45.00  | \$ .00      |

|                                   |                     |                   |                   |               |
|-----------------------------------|---------------------|-------------------|-------------------|---------------|
|                                   | 2nd half tax - 2025 | \$45.00           | \$45.00           | \$ .00        |
|                                   | 2ND HALF BALANCE    | \$45.00           | \$45.00           | \$ .00        |
| <b>C100030S-Sewer Maintenance</b> |                     |                   |                   |               |
|                                   | 1st half tax - 2025 | \$ .00            | \$ .00            | \$ .00        |
|                                   | 1ST HALF BALANCE    | \$ .00            | \$ .00            | \$ .00        |
|                                   |                     | Charges           | Payments          | Balance Due   |
| Total Balance                     |                     | <b>\$1,158.76</b> | <b>\$1,158.76</b> | <b>\$ .00</b> |

[Top](#)

[View Map](#)

Updated :04/20/2026 03:00:02 AM

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THANK YOU



# CUYAHOGA COUNTY, *Ohio*

## MyPlace

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**\*THIS DOES NOT AFFECT RESIDENTIAL PROPERTY\***

**For questions, please call 216-443-7420, Option 3 (Appraisal Department).**

Search

City

Search By  Owner  Parcel  Address

### PROPERTY DATA

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### TAXES

- Tax By Year
- Pay Your Taxes Online

### LEGAL RECORDINGS

- Get a Document List

## ACTIVITY

Informal Reviews

Board of Revisions Cases

### Primary Owner

2555 EDGEWOOD DRIVE LLC

### Property Address

2555 EDGEWOOD RD BEACHWOOD,OH 44122

### Tax Mailing Address

CARMEL PROPERTY MANAGEMENT LLC PO BOX 21880 SOUTH EUCLID, OH 44121

### Description

18 FAIRGREEN &S/L244 SP 0243 ALL

### Property Class

SINGLE FAMILY DWELLING

### Parcel Number

741-08-036

### Taxset

Beachwood

### Tax Year

2025 Pay 2026 ▼

## Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

### Taxable Assessed Values

|                |                  |
|----------------|------------------|
| Land Value     | \$20,790         |
| Building Value | \$96,110         |
| Total Value    | <u>\$116,900</u> |

### First Half Year Charge Amounts

|                        |                   |
|------------------------|-------------------|
| Gross Tax              | \$7,113.95        |
| Less 920 Reduction     | \$3,865.24        |
| Sub Total              | \$3,248.71        |
| Non-business Credit    | \$243.96          |
| Owner Occupancy Credit | \$ .00            |
| Homestead Reduction    | \$ .00            |
| Total Assessments      | <u>\$45.00</u>    |
| Half Year Net Taxes    | <u>\$3,049.75</u> |

### Taxable Market Values

|                |                  |
|----------------|------------------|
| Land Value     | \$59,400         |
| Building Value | \$274,600        |
| Total Value    | <u>\$334,000</u> |

Second Half Year Charge Amounts

|                        |                          |
|------------------------|--------------------------|
| Gross Tax              | \$7,113.95               |
| Less 920 Reduction     | <u>\$3,865.24</u>        |
| Sub Total              | \$3,248.71               |
| Non-business Credit    | \$243.96                 |
| Owner Occupancy Credit | \$ .00                   |
| Homestead Reduction    | \$ .00                   |
| Total Assessments      | <u>\$45.00</u>           |
| Half Year Net Taxes    | <u><u>\$3,049.75</u></u> |

Flags

|                        |   |
|------------------------|---|
| Owner Occupancy Credit | N |
| Homestead Reduction    | N |
| Foreclosure            | N |
| Cert. Pending          | N |
| Cert. Sold             | N |
| Payment Plan           | N |

Rates

|                    |           |
|--------------------|-----------|
| Full Rate          | 121.71    |
| 920 Reduction Rate | .543333   |
| Effective Rate     | 55.581001 |

Escrow

|                |        |
|----------------|--------|
| Escrow         | N      |
| Payment Amount | \$ .00 |

Tax Balance Summary

Charges

**\$6,099.50**

Payments

**\$6,099.50**

Balance Due

**\$ .00**

**2025 (pay in 2026) Charge and Payment Detail**

| Taxset                            | Charge Type         | Charges    | Payments   | Balance Due |
|-----------------------------------|---------------------|------------|------------|-------------|
| <b>Beachwood</b>                  |                     |            |            |             |
|                                   | 1st half tax        | \$3,004.75 | \$3,004.75 | \$ .00      |
|                                   | 1ST HALF BALANCE    | \$3,004.75 | \$3,004.75 | \$ .00      |
|                                   | 2nd half tax        | \$3,004.75 | \$3,004.75 | \$ .00      |
|                                   | 2ND HALF BALANCE    | \$3,004.75 | \$3,004.75 | \$ .00      |
| <b>C100030C-SEWER MAINTENANCE</b> |                     |            |            |             |
|                                   | 1st half tax - 2025 | \$45.00    | \$45.00    | \$ .00      |
|                                   | 1ST HALF BALANCE    | \$45.00    | \$45.00    | \$ .00      |

|                                   |                     |                   |                   |               |
|-----------------------------------|---------------------|-------------------|-------------------|---------------|
|                                   | 2nd half tax - 2025 | \$45.00           | \$45.00           | \$ .00        |
|                                   | 2ND HALF BALANCE    | \$45.00           | \$45.00           | \$ .00        |
| <b>C100030S-Sewer Maintenance</b> |                     |                   |                   |               |
|                                   | 1st half tax - 2025 | \$ .00            | \$ .00            | \$ .00        |
|                                   | 1ST HALF BALANCE    | \$ .00            | \$ .00            | \$ .00        |
|                                   |                     | Charges           | Payments          | Balance Due   |
| Total Balance                     |                     | <b>\$6,099.50</b> | <b>\$6,099.50</b> | <b>\$ .00</b> |

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## ACTIVITY

Informal Reviews

Board of Revisions Cases

### Primary Owner

RIK ENTERPRISES, LLC

### Property Address

2561 EDGEWOOD RD BEACHWOOD, OH 44122

### Tax Mailing Address

CARMEL PROPERTY MANAGEMENT LLC PO BOX 21880 SOUTH EUCLID, OH 44121

### Description

18 FAIRGREEN 0242 ALL

### Property Class

SINGLE FAMILY DWELLING

### Parcel Number

741-08-037

### Taxset

Beachwood

### Tax Year

2025 Pay 2026 ▼

## Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

### Taxable Assessed Values

|                |                 |
|----------------|-----------------|
| Land Value     | \$19,080        |
| Building Value | \$58,660        |
| Total Value    | <u>\$77,740</u> |

### First Half Year Charge Amounts

|                        |                   |
|------------------------|-------------------|
| Gross Tax              | \$4,730.87        |
| Less 920 Reduction     | \$2,570.43        |
| Sub Total              | \$2,160.44        |
| Non-business Credit    | \$162.23          |
| Owner Occupancy Credit | \$0.00            |
| Homestead Reduction    | \$0.00            |
| Total Assessments      | <u>\$37.50</u>    |
| Half Year Net Taxes    | <u>\$2,035.71</u> |

### Taxable Market Values

|                |                  |
|----------------|------------------|
| Land Value     | \$54,500         |
| Building Value | \$167,600        |
| Total Value    | <u>\$222,100</u> |

Second Half Year Charge Amounts

|                        |                          |
|------------------------|--------------------------|
| Gross Tax              | \$4,730.87               |
| Less 920 Reduction     | <u>\$2,570.43</u>        |
| Sub Total              | \$2,160.44               |
| Non-business Credit    | \$162.23                 |
| Owner Occupancy Credit | \$ .00                   |
| Homestead Reduction    | \$ .00                   |
| Total Assessments      | <u>\$37.50</u>           |
| Half Year Net Taxes    | <u><u>\$2,035.71</u></u> |

Flags

|                        |   |
|------------------------|---|
| Owner Occupancy Credit | N |
| Homestead Reduction    | N |
| Foreclosure            | N |
| Cert. Pending          | N |
| Cert. Sold             | N |
| Payment Plan           | N |

Rates

|                    |           |
|--------------------|-----------|
| Full Rate          | 121.71    |
| 920 Reduction Rate | .543333   |
| Effective Rate     | 55.581001 |

Escrow

|                |        |
|----------------|--------|
| Escrow         | N      |
| Payment Amount | \$ .00 |

Tax Balance Summary

Charges

**\$4,071.42**

Payments

**\$4,071.42**

Balance Due

**\$ .00**

**2025 (pay in 2026) Charge and Payment Detail**

| Taxset                            | Charge Type         | Charges    | Payments   | Balance Due |
|-----------------------------------|---------------------|------------|------------|-------------|
| <b>Beachwood</b>                  |                     |            |            |             |
|                                   | 1st half tax        | \$1,998.21 | \$1,998.21 | \$ .00      |
|                                   | 1ST HALF BALANCE    | \$1,998.21 | \$1,998.21 | \$ .00      |
|                                   | 2nd half tax        | \$1,998.21 | \$1,998.21 | \$ .00      |
|                                   | 2ND HALF BALANCE    | \$1,998.21 | \$1,998.21 | \$ .00      |
| <b>C100030C-SEWER MAINTENANCE</b> |                     |            |            |             |
|                                   | 1st half tax - 2025 | \$37.50    | \$37.50    | \$ .00      |
|                                   | 1ST HALF BALANCE    | \$37.50    | \$37.50    | \$ .00      |

|                                   |                     |                   |                   |               |
|-----------------------------------|---------------------|-------------------|-------------------|---------------|
|                                   | 2nd half tax - 2025 | \$37.50           | \$37.50           | \$ .00        |
|                                   | 2ND HALF BALANCE    | \$37.50           | \$37.50           | \$ .00        |
| <b>C100030S-Sewer Maintenance</b> |                     |                   |                   |               |
|                                   | 1st half tax - 2025 | \$ .00            | \$ .00            | \$ .00        |
|                                   | 1ST HALF BALANCE    | \$ .00            | \$ .00            | \$ .00        |
|                                   |                     | Charges           | Payments          | Balance Due   |
| Total Balance                     |                     | <b>\$4,071.42</b> | <b>\$4,071.42</b> | <b>\$ .00</b> |

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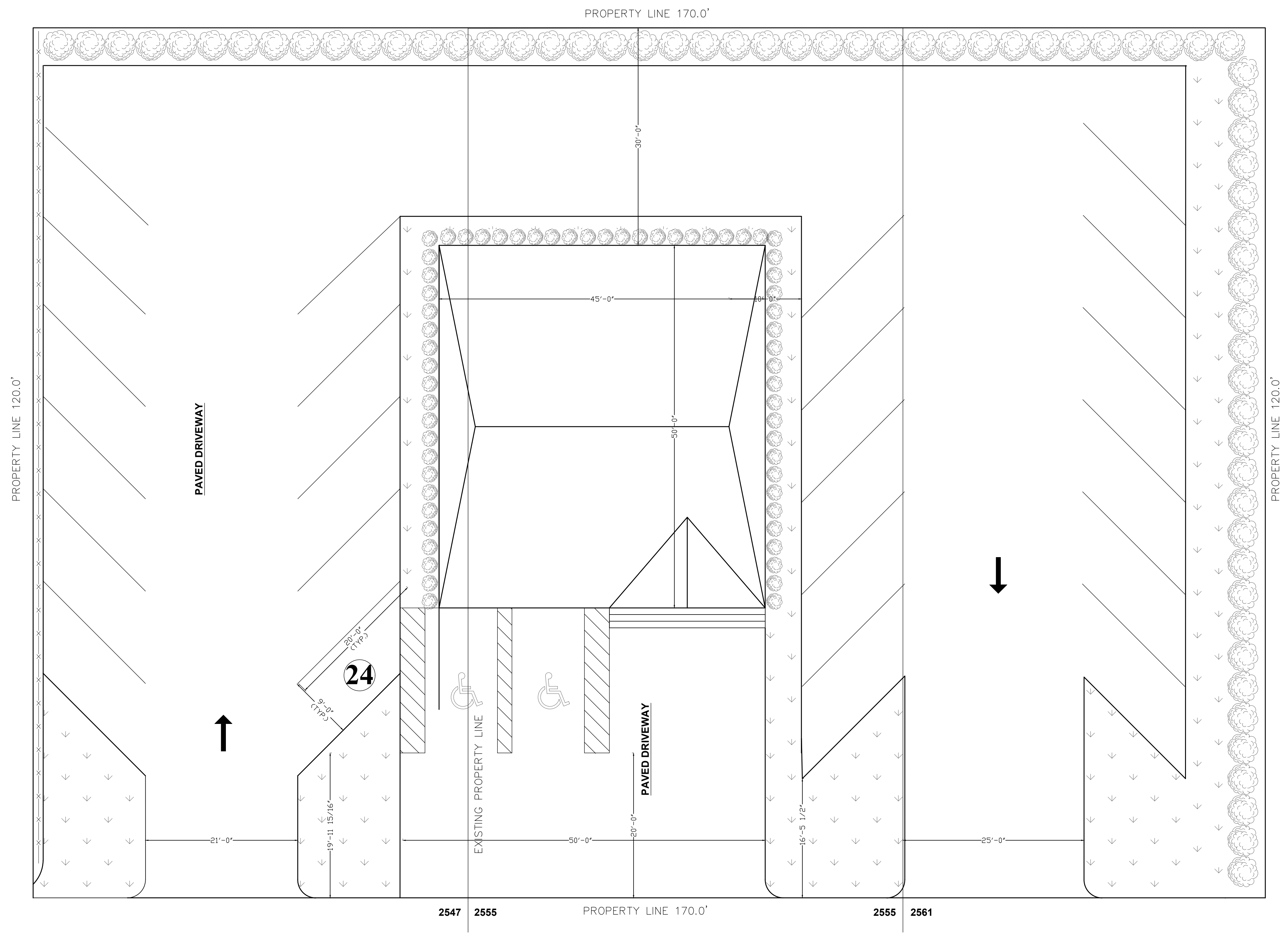
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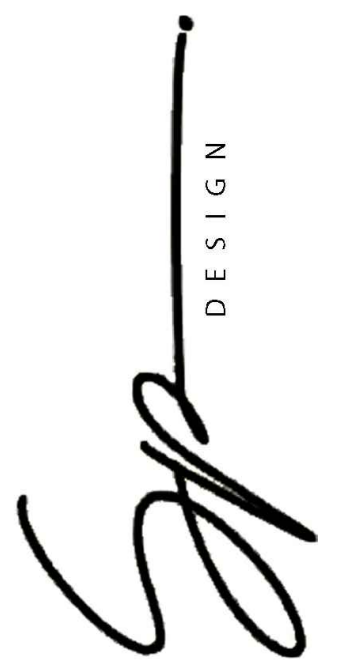
BAIS AVRAHAM SHUL  
2547-2561 EDGEWOOD RD  
BEACHWOOD OH 44122





1 SITE PLAN  
 1/8" = 1'-0"

COMBINE LOTS 2547, 2555 & 2561, DEMOLISH EXISTING PROPERTIES, REBUILD BUILDING 70' X 40'. INCLUDE PARKING AT BOTH SIDES OF THE LOT

|  |                |
|--|----------------|
|                      |                |
| DRAWING TITLE<br><b>SITE PLAN</b>  | DRAWN BY<br>SP |
| PROJECT<br><b>BAIS AVRAHAM SHUL<br/>         2547-2561 EDGEWOOD RD<br/>         BEACHWOOD OH 44122</b> |                |
| DATE<br>03/09/2026   | CLIENT         |
| DWG. NO.<br><b>ID-105.00</b>   |                |
| SCALE<br>SCALE AS NOTED  |                |



*SP*  
DESIGN

DRAWING TITLE  
PROPOSED RENDER

SCALE  
N/A

DRAWN BY  
SP

PROJECT  
BAIS AVRAHAM SHUL  
2547-2561 EDGEWOOD RD  
BEACHWOOD OH 44122

CLIENT

DATE  
07/29/2025

DWG. NO.

**ID-302.00**

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: May 15, 2026

RE: **P&Z 2026-14 Ordinance No. 2026-19**  
**Bais Avrohom**  
**2547, 2555 and 2561 Edgewood Road**  
**Rezoning**  
**Concept Development Plan**

This request is for rezoning from U-1 Single Family Residential District to U-5 Public and Institutional District for the construction and operation of a place of worship. As required by Code, the application was filed with City Council, an ordinance was prepared, and the matter was referred to the Planning and Zoning Commission for your recommendation. The application also includes a concept development plan for the proposed use. That concept plan is for illustration purposes only to demonstrate that the applicant can comply with all of the setback and parking requirements without variances. The Commission will only be acting on the request to rezone and will not be approving or recommending the development plan.

The subject site consists of three (3) existing lots which contain a total of 20,400 square feet and which have a combined frontage of 170 feet on Edgewood Road. There are currently homes located on two of the three lots. The concept plan shows removal of the existing dwellings and construction of a new building that conforms to the building and life safety code requirements for a place of worship and place of assembly. The applicants have indicated their intent to make the façade of the new building have a residential character to better fit in with the neighborhood. As shown on the concept plan, the proposed institutional building has a footprint of 2,250 square feet. The concept plan indicates the ability to provide 24 parking spaces that conform to Code.

The subject site is abutted on both sides by properties that are zoned U-1 Single Family Residential District. The abutting land to the rear of the subject site is owned by the City of Beachwood and is zoned U-5 Public and Institutional District, although the City intends to rezone that property for a senior targeted housing project.

P&Z 2026-14  
Ordinance No. 2026-19  
Bais Avrohom  
2547, 2555 and 2561 Edgewood Road  
Rezoning  
Concept Development Plan  
May 15, 2026  
Page 2

The Commission will need to act in the form of a recommendation to City Council on referred Ordinance 2026-19. The applicants appear capable of meeting all of the U-5 zoning requirements including building and parking setbacks and number of parking spaces. It is recommended that the Commission provide a positive recommendation to City Council. Should Council approve the rezoning, the applicants will need to return to the Commission for site development plan approval.

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 28, 2026

Report Date: May 14, 2026

To: Traci Gallagher  
From: Joseph R. Ciuni P.E. P.S.  
City Engineer

**AGENDA ITEM - 9**

**P & Z 2026 -14**

**Rezoning 2547 Edgewood Road (PPN 741-08-034), 2555 Edgewood Road (PPN 741-08-036) and 2561 Edgewood Road (PPN 741-08-037) from U-1 Single Family Residential District to U-5 Public and Institutional District (Ordinance No. 2026-19, referred from Council May 4, 2026).**

We have no comments on this item.

Fire Prevention Bureau

## **P&Z Report**

**To:** Planning and Zoning Commission  
**From:** Matthew Domonkos, Assistant Chief  
**Date:** 05/07/2026  
**Re:** P&Z # 2026-14 2547,2555,2561 Edgewood Dr. (Rezoning)

---

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

## PLANNING & ZONING APPLICATION

**Form must be completed or will not be processed**

APPLICATION DATE: 5/1/26

OWNER OF BUILDING: Hadassah Munk PHONE: 216-269-1681

STREET ADDRESS: 2367 beachwood blvd

CITY/STATE/ZIP: beachwood/ohio/44122

APPLICANT: Hadassah Munk PHONE: 216-269-1681

COMPANY OR FIRM: Veteran Fencing

EMAIL: Robby@veteransfence.net

STREET ADDRESS: 12020 york road

CITY/STATE/ZIP: north royalton, ohio 44133

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**

Hadassah Munk dassamunkey@gmail.com

### DESCRIPTION OF THE PROPERTY:

ADDRESS: \_\_\_\_\_ SUITE # \_\_\_\_\_

TENANT NAME: \_\_\_\_\_

PERMANENT PARCEL # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ PRESENT USE: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_

PURPOSE OF APPLICATION: fence plus variance

**NATURE OF THE REQUEST** (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other \_\_\_\_\_
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (**must indicate a hardship**):

According to city, fence needs to be 12 feet from the sidewalk. We live on corner lot.

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. Fence currently located 6' from sidewalk. Need mower

access to backyard through gate, cannot do if fence 12' from sidewalk.

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

|     | <u>Zoning District</u>  | <u>Fee</u>        |
|-----|---|-------------------|
| (1) | U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances<br>Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office. | <b>\$300.00</b>   |
| (2) | All other Zoning Districts for site development plan review (new building/addition)   | <b>\$5,000.00</b> |
| (3) | All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office  | <b>\$1,500.00</b> |
| (4) | For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use  | <b>\$750.00</b>   |
| (5) | Map Amendment   | <b>\$2,500.00</b> |

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

  
SIGNATURE

Hadassah Munk  
PRINTED NAME

05/01/2026  
DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_  
Date

Final Approval: \_\_\_\_\_  
Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_



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## ACTIVITY

Informal Reviews

Board of Revisions Cases

### Primary Owner

MUNK, HADASSAH

### Property Address

2367 BEACHWOOD BLVD BEACHWOOD,OH 44122

### Tax Mailing Address

MUNK, HADASSAH 2367 BEACHWOOD BLVD BEACHWOOD, OH 44122

### Description

MAP-AFN 201705100732 PARCEL A FF 74.37 D 147.58 0.2579 ACRES 8 OL 2018 SR

### Property Class

SINGLE FAMILY DWELLING

### Parcel Number

741-11-071

### Taxset

Beachwood

### Tax Year

2025 Pay 2026 ▼

PAY BY E-CHECK OR CREDIT/DEBIT CARD

## Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

### Taxable Assessed Values

|                |           |
|----------------|-----------|
| Land Value     | \$30,170  |
| Building Value | \$154,040 |
| Total Value    | \$184,210 |

### First Half Year Charge Amounts

|                        |             |
|------------------------|-------------|
| Gross Tax              | \$11,210.10 |
| Less 920 Reduction     | \$6,090.81  |
| Sub Total              | \$5,119.29  |
| Non-business Credit    | \$384.42    |
| Owner Occupancy Credit | \$96.10     |
| Homestead Reduction    | \$.00       |
| Total Assessments      | \$55.80     |
| Half Year Net Taxes    | \$4,694.57  |

### Taxable Market Values

|                |           |
|----------------|-----------|
| Land Value     | \$86,200  |
| Building Value | \$440,100 |
| Total Value    | \$526,300 |

Second Half Year Charge Amounts

|                        |                          |
|------------------------|--------------------------|
| Gross Tax              | \$11,210.10              |
| Less 920 Reduction     | <u>\$6,090.81</u>        |
| Sub Total              | \$5,119.29               |
| Non-business Credit    | \$384.42                 |
| Owner Occupancy Credit | \$96.10                  |
| Homestead Reduction    | \$0.00                   |
| Total Assessments      | <u>\$55.80</u>           |
| Half Year Net Taxes    | <u><u>\$4,694.57</u></u> |

Flags

|                        |   |
|------------------------|---|
| Owner Occupancy Credit | Y |
| Homestead Reduction    | N |
| Foreclosure            | N |
| Cert. Pending          | N |
| Cert. Sold             | N |
| Payment Plan           | N |

Rates

|                    |           |
|--------------------|-----------|
| Full Rate          | 121.71    |
| 920 Reduction Rate | .543333   |
| Effective Rate     | 55.581001 |

Escrow

|                |       |
|----------------|-------|
| Escrow         | N     |
| Payment Amount | \$.00 |

Tax Balance Summary

Charges

**\$9,389.14**

Payments

**\$4,694.57**

Balance Due

**\$4,694.57**

**2025 (pay in 2026) Charge and Payment Detail**

| Taxset                            | Charge Type         | Charges    | Payments   | Balance Due |
|-----------------------------------|---------------------|------------|------------|-------------|
| <b>Beachwood</b>                  |                     |            |            |             |
|                                   | 1st half tax        | \$4,638.77 | \$4,638.77 | \$0.00      |
|                                   | 1ST HALF BALANCE    | \$4,638.77 | \$4,638.77 | \$0.00      |
|                                   | 2nd half tax        | \$4,638.77 | \$0.00     | \$4,638.77  |
|                                   | 2ND HALF BALANCE    | \$4,638.77 | \$0.00     | \$4,638.77  |
| <b>C100030C-SEWER MAINTENANCE</b> |                     |            |            |             |
|                                   | 1st half tax - 2025 | \$55.80    | \$55.80    | \$0.00      |

|                                   |                     |         |         |         |
|-----------------------------------|---------------------|---------|---------|---------|
|                                   | 1ST HALF BALANCE    | \$55.80 | \$55.80 | \$ .00  |
|                                   | 2nd half tax - 2025 | \$55.80 | \$ .00  | \$55.80 |
|                                   | 2ND HALF BALANCE    | \$55.80 | \$ .00  | \$55.80 |
| <b>C100030S-Sewer Maintenance</b> |                     |         |         |         |
|                                   | 1st half tax - 2025 | \$ .00  | \$ .00  | \$ .00  |
|                                   | 1ST HALF BALANCE    | \$ .00  | \$ .00  | \$ .00  |

|               |  |                   |                   |                   |
|---------------|--|-------------------|-------------------|-------------------|
|               |  | Charges           | Payments          | Balance Due       |
| Total Balance |  | <b>\$9,389.14</b> | <b>\$4,694.57</b> | <b>\$4,694.57</b> |

PAY BY E-CHECK OR CREDIT/DEBIT CARD

Top

View Map

Updated :04/29/2026 02:59:47 AM

Disclaimer: Cuyahoga County provides this geographic data and related analytical results as a free public service on an "as is" basis. Cuyahoga County makes no guarantee(s) or warranty(ies) as to the accuracy, completeness, or timeliness of the information contained herein, and said information is not intended to, nor does it, constitute an official public record of Cuyahoga County. While much of the data contained herein is compiled from public records, the official records of the public office or agency from which they were compiled remains the official record of any such public office or agency. **By accessing, viewing or using any part of the site, you expressly acknowledge you have read, agree to and consent to be bound by all of the terms and conditions listed on this site. Routine maintenance is performed on Fridays and disruptions may occur. We apologize for any inconvenience.**

WATER DEPARTMENT OFFICIALS: AS OF JANUARY 1, 2021 PLEASE UTILIZE THE TRANSFER TAB ON THE MYPLACE SITE TO DETERMINE OWNERSHIP FOR CREATING OR CLOSING ACCOUNTS. PARCEL DATA ON PROPERTY TRANSFERS ARE UPDATED DAILY. THEREFORE, YOU CAN NOW RELY ON THIS SITE FOR ACCURATE REAL PROPERTY OWNERSHIP. YOU ARE ALSO WELCOME TO ACCEPT COPIES OF RECORDED DEEDS FROM OUR OFFICE.

THANK YOU



# 2367 Beachwood Blvd



Imagery ©2026 Airbus, Maxar Technologies, Map data ©2026 Google 20 ft



## 2367 Beachwood Blvd

Building



Directions



Save



Nearby



Send to phone



Share



2367 Beachwood Blvd, Beachwood, OH 44122

### Photos

## Residential Fence Calculations

**Date:** 05/28/2026

**Address:** 2367 Beachwood Blvd.

**Lot Information:**

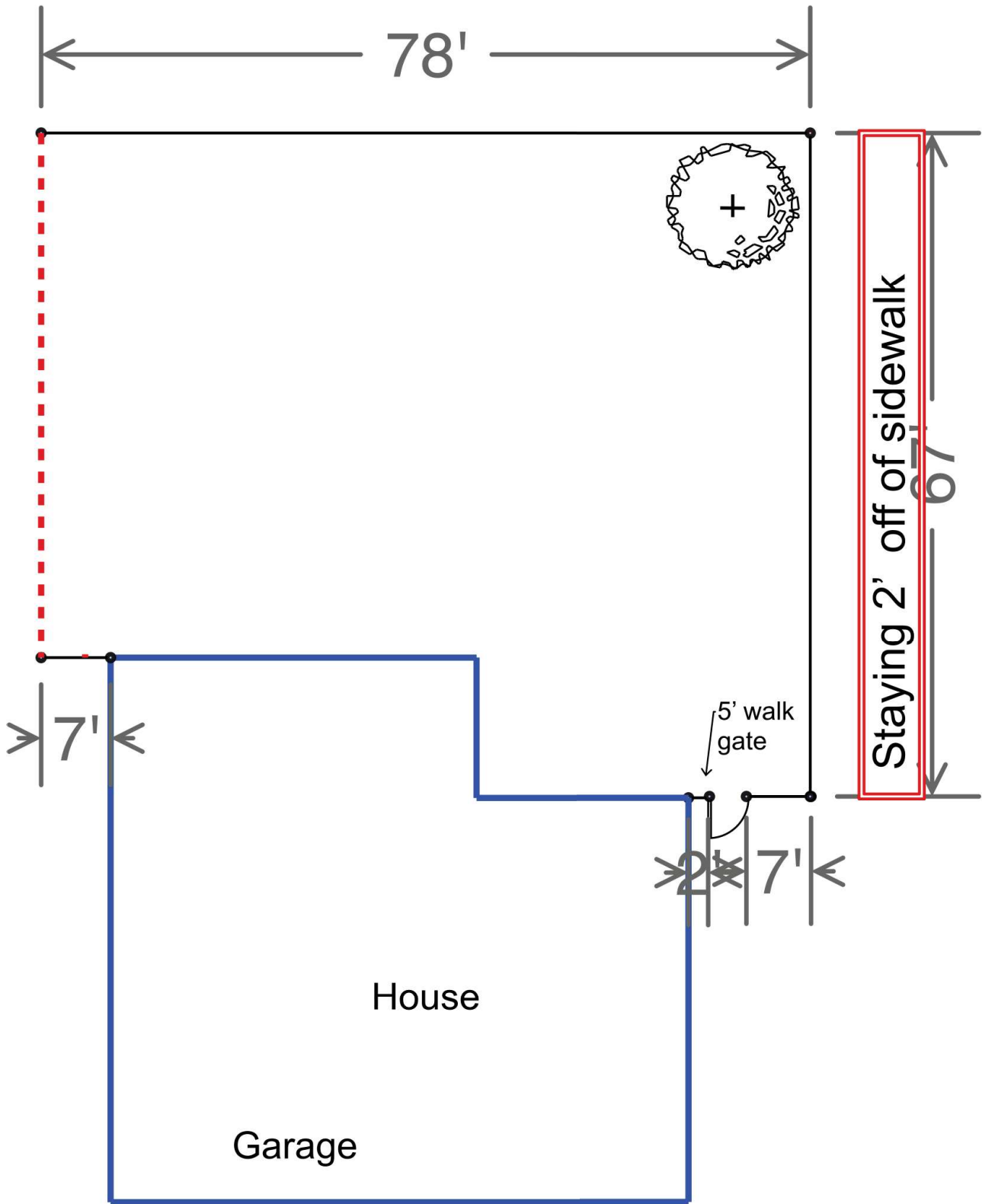
**BCO 1146.02 (c) (5)**

**Fences in the street side yard of corner lots, but not greater than six (6) feet in height or closer than twelve (12) feet from the right of way.**

**Required:** 12.00'

**Proposed:** 2.00'

**Variance:** 10.00'





---

## Current fence plus photos

---

**From** Dassa Munk <dassamunkey@gmail.com>  
**Date** Wed 5/27/2026 2:03 PM  
**To** Veronica Muth <Veronica.muth@beachwoodohio.com>

\*\*\*City of Beachwood Notice \*\*\* This e-mail is from an external source. Think before you click links or open attachments.

This is our current fence that desperately needed to be replaced. It's an eye sore on a corner lot in the heart of the beautiful city of Beachwood. We want to beautify our home and provide safety for our kids while utilizing our yard as well. As noted in the original variance submission- we will not be able to get a lawnmower into the backyard if the fence is 12 feet from the sidewalk. This is a very clear hardship. I've also attached 2 pictures from other homes in Beachwood on corner lots that have fences that are 1-2 feet from the sidewalk that look beautiful and don't get in the way of people walking past etc



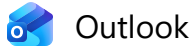
Our fence



Neighbor one block over



Dassa Munk  
216-269-1681



---

## Yard work

---

**From** Dassa Munk <dassamunkey@gmail.com>  
**Date** Wed 5/27/2026 2:26 PM  
**To** Veronica Muth <Veronica.muth@beachwoodohio.com>

\*\*\*City of Beachwood Notice \*\*\* This e-mail is from an external source. Think before you click links or open attachments.

We spent alot of time and money cutting down very old not safe trees, planting new ones, planting new grass and redoing all the beds. The start of the beautiful project.





Dassa Munk  
216-269-1681

## Veterans Fence

12020 York Rd.  
North Royalton, OH 44133

Office: 440-596-9446  
[www.veteransfences.com](http://www.veteransfences.com)



## Project Proposal - Quote is good for 20 days

April 28, 2026

This Proposal was prepared for:

**Ilan Senders**

2367 Beachwood Boulevard  
Beachwood, OH 44122

2165098568  
[dassamunkey@gmail.com](mailto:dassamunkey@gmail.com)

Proposal by:

**Robby Waller**

216-571-2242  
[robby@veteransfence.net](mailto:robby@veteransfence.net)



## Job Details

### Description of fence

- Tear out and haul away existing wood fence.

Furnish and install approximately : 153 LF of 4' H flush top/Thru bottom black aluminum fence

Furnish and install 10Lf of 6' H black imperial style vinyl fence W/ (1) 5'W walk gate. Walk gate will have black stainless steel adjustable hardware.

### What areas of yard are being fenced in

Rear yard  
Side Yard -  
Left  
Side Yard -  
right  
Front Yard

### Tear out

Wood

### Fence line needs cleared

### Truck and Trailer

Yes

### Discount

NA

## Key points:

1. **Property Boundaries and Surveys:** If property pins or a survey drawing are not available, Veterans Fence strongly recommends that the Customer obtains a property survey from a state Engineer. The Customer is responsible for accurately determining property boundaries. The Contractor may assist in identifying potential boundary lines upon request; however, under no circumstances shall the Contractor assume responsibility for the accuracy of these boundaries. **Typical fence installations with a concrete footer require 4-6 inches off the property line to ensure the concrete footer remains on the customers property.**
2. **Installation date:** The Contractor will notify the Customer at least 48 hours prior to installation date. The Customer must have a responsible party on site at the beginning of the installation to discuss the project layout.
3. **Fence Line Cleared:** The customer will have brush and obstructions cleared
4. **Spoils Disposal.** The Contractor will not haul away spoils from the holes dug. Spoils will be piled up at an agreed upon location on site or spread along the fence line.
5. **Access to Water.** Customer will provide access to water and power during the installation of the fence.
6. **Damage to Landscaping.** The Contractor will attempt to minimize damage to grass and landscaping at the time of installation. However, the Contractor assumes no responsibility of damaged landscaping during the installation of the fence.

7. **Core drills** - Are done using a Core Rig through concrete. We use diamond bits to properly drill holes while minimizing any damage to concrete pad. Unfortunately, due to the proximity of many core drills to structures, small cracks can occur. It is a very rare occurrence but important to know it can happen. Veterans Fence will do everything possible to prevent these cracks and can use outdoor Rockite to fill any crack, if said crack does occur.

|                            |                    |
|----------------------------|--------------------|
| <b>Total Project Cost:</b> | <b>\$10,143.00</b> |
|----------------------------|--------------------|

- **There is a 2.9% Processing Fee for all credit cards**
  - **This includes the credit card through dollar bank they offer when financing your project.**
- **There is no fee if paying with Checking or ACH**

**Payment**

|                |                   |
|----------------|-------------------|
| <b>Deposit</b> | <b>\$5,071.50</b> |
| <b>Balance</b> | <b>\$5,071.50</b> |

Payment Terms:  
Final payment due upon completion of fence project.

\_\_\_\_\_

Customer Signature

\_\_\_\_\_

Date

**Independent Contractor Agreement  
Veterans Fence Company**

**1.01 The Parties.**

This Independent Contractor Agreement (“Agreement”) is made between the following parties:

**Customer:** See Customer information under Client details on page one of contract.

**Contractor:** Veterans Fence Company, (“Contractor”) located at 12020 York Road, North Royalton, Ohio 44133.

**2.01 Engagement and Services**

**Services.** The Contractor agrees to perform fencing installation and maintenance services as detailed in the attached Exhibit A.

**Term.** This Agreement shall commence on the date of signing and continue until the completion of the services unless terminated earlier as provided herein.

**Installation date:** The Contractor will notify the Customer at least 48 hours prior to installation date. The Customer must have a responsible party on site at the beginning of the installation to discuss the project layout.

**2.02 Additional Terms.**

**Digging Conditions.** Job is priced assuming normal digging conditions. Unforeseen conditions, that are hidden beneath the surface, can create an additional charge or change to the layout. Including: Sandstone, unexposed concrete, underground utilities and stones too large to remove.

**Spoils Disposal.** The Contractor will not haul away spoils from the holes dug. Spoils will be piled up at an agreed upon location on site or spread along the fence line.

**Access to Water.** Customer will provide access to water and power during the installation of the fence.

**Damage to Landscaping.** The Contractor will attempt to minimize damage to grass and landscaping at the time of installation. However, the Contractor assumes no responsibility of damaged landscaping during the installation of the fence.

**Public Utilities and Buried Lines.** The Contractor will assume the responsibility for having underground public utilities located and marked. However, The Contractor assumes no responsibility for unmarked sprinkler lines, or any other unmarked buried lines or objects. The customer will assume all liability for any damage caused by directing The Contractor to dig in the immediate vicinity of known utilities

**Zoning and Ordinances.** The Contractor shall advise the Customer regarding local zoning regulations and shall obtain all necessary local permits for the installation of the fence. The following conditions apply in relation to property boundaries, homeowner's associations (HOA), and compliance:

1. Property Boundaries and Surveys: The Customer is responsible for accurately determining property boundaries. If a property survey or boundary confirmation is required by the City or the Customer's HOA, the Customer shall bear all associated costs. The Contractor may assist in identifying potential boundary lines upon request; however, under no circumstances shall the Contractor assume responsibility for the accuracy

of these boundaries. If property pins cannot be located or if there is any uncertainty regarding property boundaries, it is strongly recommended that the Customer obtain a professional property survey.

2. **Boundary Disputes:** The Contractor shall not be responsible for any disputes arising from boundary issues. In the event of a dispute requiring the fence to be moved or modified, all costs associated with such relocation or modification shall be borne by the Customer, unless the need for such action arises due to the negligence or willful misconduct of the Contractor.
3. **HOA Compliance and Approval:** If the Customer is part of a Homeowner's Association, it is the Customer's responsibility to obtain necessary compliance and/or an approval letter from the HOA. The Customer shall ensure that all fence installations are in accordance with HOA guidelines and requirements. Failure to obtain such approval, or any delays or additional costs incurred as a result of non-compliance with HOA requirements, shall be the sole responsibility of the Customer. The Contractor will not be liable for any delays, modifications, or additional costs arising from the Customer's failure to secure or adhere to HOA regulations.

The Contractor's commitment to assisting the Customer in these matters is limited to providing general guidance and performing fence installation in accordance with agreed-upon specifications. All other responsibilities pertaining to zoning, property boundaries, and HOA compliance rest solely with the Customer.

**Force Majeure.** Neither party shall be liable for any failure or delay in performing its obligations under this Agreement if such failure or delay is due to circumstances beyond its reasonable control, including, but not limited to, acts of God, natural disasters, terrorism, war, labor strikes, or governmental actions. If such circumstances cause a delay in the performance of the Services, the Contractor shall notify the Customer promptly, and the time for performance shall be extended for a period equivalent to the duration of such circumstances.

### **2.03 Termination.**

**Termination for Convenience.** The Contractor may terminate this Agreement at any time by providing thirty (30) days' written notice to the Customer.

**Termination for Cause.** The Contractor may terminate this Agreement immediately upon written notice if the Customer: fails to make payments when due, breaches any material term or condition of this Agreement, or becomes insolvent or is subject to bankruptcy proceedings.

**Effects of Termination.** Upon termination of this Agreement, the Customer shall pay the Contractor for all Services performed up to the date of termination, including any expenses incurred. The Contractor shall be entitled to retain any deposits or payments made by the Customer to the extent of Services rendered.

### **3.01 Payment Terms.**

The Customer agrees to pay the Contractor for the services provided, as detailed in Exhibit A, which outlines both the scope of services and the financial terms of this agreement, including the price quote. The following conditions also apply:

1. **Quote Validity:** The price quote in Exhibit A is valid for 20 days from its issuance. If this Agreement is not signed within 20 days, a new quote will be required, and prices may vary.
2. **Delay and Price Adjustment:** If there are delays outside the control of the Contractor that prolong the project for more than six (6) months, and there is a change in material prices, the Contractor reserves the right to adjust the contract price in accordance with the new material prices.

3. Storage Fee for Delayed Materials: If there are delays outside the control of the Contractor that prolong the project for more than six (6) months, and if materials are already purchased, a storage fee may be charged to the Customer. This fee will not exceed 5% of the total cost of the materials or \$10 per day, whichever is greater.
4. Billing: Final billing will be based on the actual footage of fencing built and the work performed. Adjustments for materials and labor will be charged or credited at the rates established at the time of contract signing. Additional charges for any extra work, not covered in this contract but requested by the Customer, will also be added.
5. Completion: Completion is defined as the fulfillment of the Services described in Exhibit A, executed in accordance with industry standards and subject to the Customer's approval, which shall not be unreasonably withheld.
6. Late Payment Fees: A finance charge of 1 1/2% per month (18% annual rate) applies to accounts not paid within 10 days after the completion of any work invoiced. All materials will remain the property of the Contractor until full payment is received for all invoices related to this job. The Customer agrees to pay all interest and any costs incurred in the collection of this debt.
7. Expenses Beyond Contract: The Customer is responsible for any expenses incurred that are not included in Exhibit A. The Contractor shall provide prior notice to the Customer of such expenses. Payment for these expenses is due within thirty (30) days of the Customer receiving an itemized statement. Upon request, the Contractor will provide receipts or proof of purchase for these expenses.

#### **4.01 Compliance and Operational Responsibilities**

**Independent Contractor Status:** The Contractor operates as an independent contractor, not as an employee of the Customer. The Contractor retains control over work methods, schedules, and may engage other contractors. No uniforms, training, or employment benefits are provided by the Customer.

**Business and Tax Compliance:** The Contractor is responsible for all necessary licenses, permits, and tax liabilities associated with the services provided, including self-employment taxes. The Customer is not responsible for tax withholdings or contributions.

**Non-Partnership Clause:** This Agreement does not establish a partnership or agency relationship. The Contractor cannot enter into agreements or represent the Customer.

**Liability Insurance.** The Contractor shall maintain comprehensive general liability insurance with minimum coverage limits acceptable in the industry and sufficient to cover any potential liabilities arising from the performance of the Services under this Agreement. This insurance shall protect against claims of bodily injury, property damage, and other liabilities that could arise from the Contractor's operations. The Contractor shall provide the Customer with a certificate of insurance as proof of such coverage upon request. The Customer shall not be named as an additional insured on the Contractor's policy. The Contractor's insurance shall be primary and non-contributory with any other insurance maintained by the Customer.

#### **5.01 Craftsman Warranty.**

The Contractor provides a ten-year craftsman warranty commencing from the date of completion of the fence installation. This warranty covers any errors in installation craftsmanship, subject to the following terms:

1. Scope of Warranty: This craftsman warranty specifically covers installation errors made by the Contractor. It excludes gates, which are subject to a separate adjustment provision as detailed below.

2. Exclusions: The craftsman warranty is void if the fence is modified, repaired, or otherwise altered by the Customer or anyone under the Customer's direction. Alterations include changes to the structure, design, or material of the fence.
3. Gate Adjustments: The Contractor agrees to provide adjustments for gates for up to ninety days following the installation of the fence, provided there is no evidence of abuse or misuse by the Customer or third parties.
4. Limitation of Liability: The Contractor is not responsible for defects or damages arising from circumstances beyond its reasonable control, including, but not limited to, acts of God, natural disasters, terrorism, war, labor strikes, or governmental actions.
5. Claiming Warranty: To claim the warranty, the Customer must provide evidence of the defect and demonstrate that no unauthorized alterations have been made.
6. Manufacturer Warranties Documentation: A copy of any manufacturer warranties will be mailed to the Customer upon full payment of the contracted work.
7. Liability Limitation under Warranty: The Contractor's liability under this warranty is limited to the repair or reinstallation of the affected portions of the fence. The Contractor shall not be liable for any indirect, incidental, or consequential damages.

#### **6.01 Miscellaneous.**

**Indemnification.** The Customer agrees to indemnify, defend, and hold harmless the Contractor, its officers, directors, employees, agents, and subcontractors from and against any and all claims, liabilities, damages, losses, and expenses, including reasonable attorneys' fees, arising out of or in any way connected with the Services performed under this Agreement, except to the extent such claims are due to the negligence or willful misconduct of the Contractor. This indemnification shall survive the termination of this Agreement.

**No Waiver of Rights:** The Contractor's failure to enforce any rights under this Agreement does not waive those rights. All waivers must be in writing.

**Governing Law.** This Agreement shall be governed under the laws in the State of Ohio. The parties waive any right to a jury trial.

**Severability.** If any part of this Agreement is invalid or unenforceable, the rest remains valid.

**Entire Agreement.** This Agreement and its attachments constitute the full agreement, superseding all prior agreements. Amendments must be in writing.

**Dispute Resolution.** For any disputes arising from this Agreement, except for disputes related to payment by the Customer, both the Contractor and the Customer agree to first attempt resolution through direct negotiation. If a dispute remains unresolved for thirty (30) days and involves issues other than payment by the Customer, it shall be submitted to binding arbitration. Arbitration will be conducted in accordance with the rules of the American Arbitration Association, or another mutually agreed-upon arbitration institution. The arbitration shall take place in the state where the services were performed, and the decision of the arbitrator shall be final and binding. Each party will bear its own costs and will equally share the arbitrator's fees. All arbitration proceedings shall be kept confidential unless disclosure is required by law.

For disputes specifically regarding payment by the Customer, if such a dispute is not resolved within thirty (30) days through negotiation, the Contractor reserves the right to pursue legal action in the local court to recover payment for services provided under this Agreement.

**Recovery of Attorney Fees in Event of Breach.** In the event of any breach of this Agreement by the Customer, and should the Contractor find it necessary to enforce its rights under this Agreement through legal action, the Customer shall be responsible for all reasonable attorney fees, court costs, and other legal expenses incurred by the Contractor in such enforcement efforts. This provision is intended to ensure that the Contractor is not financially disadvantaged in seeking to enforce the terms of this Agreement or in defending its rights in the event of a breach by the Customer.

**Interpretation of Terms:** Gender and number in this Agreement are interchangeable as context requires. Section headings and titles are provided for convenience only and shall not affect the interpretation of this Agreement.

---

Signature \_\_\_\_\_ Date \_\_\_\_\_

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: May 14, 2026

RE: **P&Z 2026-16**      **Veteran Fencing**  
   **Hadassah Munk**  
   **2367 Beachwood Boulevard**  
   **Fence Variances**



---

This request is for two (2) fence variances. The first is to Section 1146.02(d)(7) to permit the fence to not be of uniform color, style and material. The applicant is seeking to mix a 4 feet high black aluminum picket style fence with a 6 feet black imperial style vinyl fence. The Commission has permitted mixed fence styles in certain situations.

The second variance is for the setback on the side street of a corner lot. Section 1146.02(c)(5) requires a minimum side yard setback for fences on corner lots of 12 feet. The applicant is seeking a setback of one (1) foot or a variance of 92%. The Commission has historically not granted such variances. Not only is the variance substantial, but the only stated is that the applicant has a corner lot. The standard is specifically for corner lots. There does not appear to be any practical difficulty that would warrant the granting of a variance of the magnitude requested.

It is recommended that the Commission deny this request.

## MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 28, 2026

Report Date: May 14, 2026

To: Traci Gallagher  
From: Joseph R. Ciuni P.E. P.S.  
City Engineer

### AGENDA ITEM - 11

**P & Z 2026 -16**

**Hadassah Munk has requested an 11' side street right-of-way variance, in accordance with BCO Section 1146.02(c)(5), Fences, and a variance of dissimilar materials and heights, in accordance with BCO Section 1146.02(d)(7), Prohibited Fences, for a fence at 2367 Beachwood Blvd.**

We have no comments on this item.

Fire Prevention Bureau

## P&Z Report

**To:** Planning and Zoning Commission  
**From:** Matthew Domonkos, Assistant Chief  
**Date:** 05/07/2026  
**Re:** P&Z #2026-16 2367 Beachwood Blvd.-(Variance)

---

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

**PLANNING & ZONING APPLICATION**

**Form must be completed or will not be processed**

APPLICATION DATE: 04.30.2026

OWNER OF BUILDING: Jewish Community Center PHONE: 216.831.0700

STREET ADDRESS: 26001 South Woodland Road

CITY/STATE/ZIP: Beachwood, OH 44122

APPLICANT: Richard Parker, AIA, LEED AP PHONE: 216.570.4888

COMPANY OR FIRM: Brandstetter CARroll, Inc.

EMAIL: rparker@bciaep.com

STREET ADDRESS: 1220 West Sixth St. 300

CITY/STATE/ZIP: Cleveland, OH 44113

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**

Richard Parker, rparker@bciaep.com, David Cantrell, dcantrell@bciaep.com

Mr. Jesse Rosen, CEO JCC, jrosen@mandeljcc.org

**DESCRIPTION OF THE PROPERTY:**

ADDRESS: 26001 South Woodland Road SUITE # \_\_\_\_\_

TENANT NAME: Mandel Jewish Community Center

PERMANENT PARCEL # 742 .04 .003 PRESENT USE: Day Camp PROPOSED USE: Day Camp

PURPOSE OF APPLICATION: Preliminary Site Plan Approval for site & buildings redevelopment.

(this information updated 05.05.2026)

**NATURE OF THE REQUEST (check as many as apply):**

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other \_\_\_\_\_
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (**must indicate a hardship**):

Not aware of a variance requirement. (this note added 05.05.2026)

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. property includes PP above and 742-03-002, 742-03-004

and 742-03-005 (this note added 05.05.2026)

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor’s GIS website or Google Earth).
- Attach copy of the Auditor’s Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

|     | <u>Zoning District</u>  | <u>Fee</u>        |
|-----|---|-------------------|
| (1) | U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances<br>Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder’s Office. | <b>\$300.00</b>   |
| (2) | All other Zoning Districts for site development plan review (new building/addition)   | <b>\$5,000.00</b> |
| (3) | All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder’s Office  | <b>\$1,500.00</b> |
| (4) | For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use  | <b>\$750.00</b>   |
| (5) | Map Amendment   | <b>\$2,500.00</b> |

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

**Richard Parker** Digitally signed by Richard Parker  
Date: 2026.04.30 16:07:43 -04'00'  
SIGNATURE

**Richard Parker**  
PRINTED NAME

**04.30.2026**  
DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_  
Date

Final Approval: \_\_\_\_\_  
Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_



Please be advised that the Fiscal Office identified a clerical error that was submitted to the State of Ohio. This error resulted in an incorrect tax rate calculation for Class II properties only (Commercial/ Industrial) for Tax Year 2024/Collection Year 2025. The Fiscal Office worked with the State of Ohio to correct the error. The correction will appear on tax bills due in February 2026 as an omitted tax.

**\*THIS DOES NOT AFFECT RESIDENTIAL PROPERTY\***  
For questions, please call 216-443-7420, Option 3 (Appraisal Department).

Search City: Entire County Search By:  Owner  Parcel  Address 74203002 | JEWISH COMMUNITY CENTER | 26001 SOUTH WOODLAND RD | BE

[View Map](#)

|                          |
|--------------------------|
| <b>PROPERTY DATA</b>     |
| General Information      |
| Transfers                |
| Values                   |
| Land                     |
| Building Information     |
| Building Sketch          |
| Other Improvements       |
| Permits                  |
| Property Summary Report  |
| <b>TAXES</b>             |
| Tax By Year              |
| Pay Your Taxes Online    |
| <b>LEGAL RECORDINGS</b>  |
| Get a Document List      |
| <b>ACTIVITY</b>          |
| Informal Reviews         |
| Board of Revisions Cases |

|                            |   |
|----------------------------|---|
| <b>Primary Owner</b>       | JEWISH COMMUNITY CENTER   |
| <b>Property Address</b>    | 00000 richmond RD BEACHWOOD,OH 44122  |
| <b>Tax Mailing Address</b> | JEWISH COMMUNITY CENTER 26001 S WOODLAND Rd BEACHWOOD, OH 44122-3367  |
| <b>Description</b>         | PCL B VOL 357 PG 23 FF 2288.84 42.9850AC OL 40 ADDITIONAL PARCELS 74203003, 74204003, 74203004 AND 74203005 20095/R |
| <b>Property Class</b>      | OTHER RETAIL STRUCTURES   |
| <b>Parcel Number</b>       | 742-03-002  |
| <b>Taxset</b>              | Beachwood   |
| <b>Tax Year</b>            | 2025 Pay 2026   |

[PAY BY E-CHECK OR CREDIT/DEBIT CARD](#)

**Summary By Tax Year 2025 Pay 2026**

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

|   |             |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
|---|-------------|----|----------------|-----------|-------------|-----------|------------|----|----------------|-------------|-------------|-------------|------------------------|---|---------------------|---|-------------|---|---------------|---|------------|---|--------------|---|-----------|--------|--------------------|---------|----------------|-----------|--------|---|----------------|--------|--|-----------|-------------|--------------------|-------------|-----------|-------------|---------------------|--------|------------------------|--------|---------------------|--------|-------------------|------------|---------------------|-------------|-----------|-------------|--------------------|-------------|-----------|-------------|---------------------|--------|------------------------|--------|---------------------|--------|-------------------|------------|---------------------|-------------|
| <p><b>Table Assessed Values</b></p> <table border="1"> <tr><td>Land Value</td><td>\$</td></tr> <tr><td>Building Value</td><td>\$516,670</td></tr> <tr><td>Total Value</td><td>\$516,670</td></tr> </table> <p><b>Table Market Values</b></p> <table border="1"> <tr><td>Land Value</td><td>\$</td></tr> <tr><td>Building Value</td><td>\$1,476,200</td></tr> <tr><td>Total Value</td><td>\$1,476,200</td></tr> </table> <p><b>Flags</b></p> <table border="1"> <tr><td>Owner Occupancy Credit</td><td>N</td></tr> <tr><td>Homestead Reduction</td><td>N</td></tr> <tr><td>Foreclosure</td><td>N</td></tr> <tr><td>Cert. Pending</td><td>N</td></tr> <tr><td>Cert. Sold</td><td>N</td></tr> <tr><td>Payment Plan</td><td>N</td></tr> </table> <p><b>Rates</b></p> <table border="1"> <tr><td>Full Rate</td><td>121.71</td></tr> <tr><td>920 Reduction Rate</td><td>.391569</td></tr> <tr><td>Effective Rate</td><td>74.052084</td></tr> </table> <p><b>Escrow</b></p> <table border="1"> <tr><td>Escrow</td><td>N</td></tr> <tr><td>Payment Amount</td><td>\$0.00</td></tr> </table> | Land Value  | \$ | Building Value | \$516,670 | Total Value | \$516,670 | Land Value | \$ | Building Value | \$1,476,200 | Total Value | \$1,476,200 | Owner Occupancy Credit | N | Homestead Reduction | N | Foreclosure | N | Cert. Pending | N | Cert. Sold | N | Payment Plan | N | Full Rate | 121.71 | 920 Reduction Rate | .391569 | Effective Rate | 74.052084 | Escrow | N | Payment Amount | \$0.00 | <p><b>First Half Year Charge Amounts</b></p> <table border="1"> <tr><td>Gross Tax</td><td>\$31,441.95</td></tr> <tr><td>Less 920 Reduction</td><td>\$12,311.71</td></tr> <tr><td>Sub Total</td><td>\$19,130.24</td></tr> <tr><td>Non-business Credit</td><td>\$0.00</td></tr> <tr><td>Owner Occupancy Credit</td><td>\$0.00</td></tr> <tr><td>Homestead Reduction</td><td>\$0.00</td></tr> <tr><td>Total Assessments</td><td>\$1,974.09</td></tr> <tr><td>Half Year Net Taxes</td><td>\$21,104.33</td></tr> </table> <p><b>Second Half Year Charge Amounts</b></p> <table border="1"> <tr><td>Gross Tax</td><td>\$31,441.95</td></tr> <tr><td>Less 920 Reduction</td><td>\$12,311.71</td></tr> <tr><td>Sub Total</td><td>\$19,130.24</td></tr> <tr><td>Non-business Credit</td><td>\$0.00</td></tr> <tr><td>Owner Occupancy Credit</td><td>\$0.00</td></tr> <tr><td>Homestead Reduction</td><td>\$0.00</td></tr> <tr><td>Total Assessments</td><td>\$1,974.09</td></tr> <tr><td>Half Year Net Taxes</td><td>\$21,104.33</td></tr> </table> | Gross Tax | \$31,441.95 | Less 920 Reduction | \$12,311.71 | Sub Total | \$19,130.24 | Non-business Credit | \$0.00 | Owner Occupancy Credit | \$0.00 | Homestead Reduction | \$0.00 | Total Assessments | \$1,974.09 | Half Year Net Taxes | \$21,104.33 | Gross Tax | \$31,441.95 | Less 920 Reduction | \$12,311.71 | Sub Total | \$19,130.24 | Non-business Credit | \$0.00 | Owner Occupancy Credit | \$0.00 | Homestead Reduction | \$0.00 | Total Assessments | \$1,974.09 | Half Year Net Taxes | \$21,104.33 |
| Land Value  | \$          |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Building Value  | \$516,670   |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Total Value   | \$516,670   |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Land Value  | \$          |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Building Value  | \$1,476,200 |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Total Value   | \$1,476,200 |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Owner Occupancy Credit  | N           |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Homestead Reduction   | N           |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Foreclosure   | N           |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Cert. Pending   | N           |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Cert. Sold  | N           |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Payment Plan  | N           |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Full Rate   | 121.71      |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| 920 Reduction Rate  | .391569     |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Effective Rate  | 74.052084   |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Escrow  | N           |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Payment Amount  | \$0.00      |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Gross Tax   | \$31,441.95 |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Less 920 Reduction  | \$12,311.71 |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Sub Total   | \$19,130.24 |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Non-business Credit   | \$0.00      |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Owner Occupancy Credit  | \$0.00      |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Homestead Reduction   | \$0.00      |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Total Assessments   | \$1,974.09  |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Half Year Net Taxes   | \$21,104.33 |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Gross Tax   | \$31,441.95 |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Less 920 Reduction  | \$12,311.71 |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Sub Total   | \$19,130.24 |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Non-business Credit   | \$0.00      |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Owner Occupancy Credit  | \$0.00      |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Homestead Reduction   | \$0.00      |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Total Assessments   | \$1,974.09  |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |
| Half Year Net Taxes   | \$21,104.33 |    |                |           |             |           |            |    |                |             |             |             |                        |   |                     |   |             |   |               |   |            |   |              |   |           |        |                    |         |                |           |        |   |                |        |  |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |           |             |                    |             |           |             |                     |        |                        |        |                     |        |                   |            |                     |             |

|  |                     |                    |                    |                    |
|--|---------------------|--------------------|--------------------|--------------------|
| <b>Tax Balance Summary</b>                   | <b>Charges</b>      | <b>Payments</b>    | <b>Balance Due</b> |                    |
|  | <b>\$42,208.66</b>  | <b>\$21,218.89</b> | <b>\$20,989.77</b> |                    |
| 2025 (pay in 2026) Charge and Payment Detail |                     |                    |                    |                    |
| Taxset                                       | Charge Type         | Charges            | Payments           | Balance Due        |
| <b>Beachwood</b>                             | 1st half tax        | \$19,130.24        | \$19,130.24        | \$0.00             |
|  | 1ST HALF BALANCE    | \$19,130.24        | \$19,130.24        | \$0.00             |
|  | 2nd half tax        | \$19,130.24        | \$114.56           | \$19,015.68        |
|  | 2ND HALF BALANCE    | \$19,130.24        | \$114.56           | \$19,015.68        |
| <b>C100030C-SEWER MAINTENANCE</b>            | 1st half tax - 2025 | \$1,974.09         | \$1,974.09         | \$0.00             |
|  | 1ST HALF BALANCE    | \$1,974.09         | \$1,974.09         | \$0.00             |
|  | 2nd half tax - 2025 | \$1,974.09         | \$0.00             | \$1,974.09         |
|  | 2ND HALF BALANCE    | \$1,974.09         | \$0.00             | \$1,974.09         |
| <b>C100030S-Sewer Maintenance</b>            | 1st half tax - 2025 | \$0.00             | \$0.00             | \$0.00             |
|  | 1ST HALF BALANCE    | \$0.00             | \$0.00             | \$0.00             |
| <b>Total Balance</b>                         |                     | <b>Charges</b>     | <b>Payments</b>    | <b>Balance Due</b> |
|  |                     | <b>\$42,208.66</b> | <b>\$21,218.89</b> | <b>\$20,989.77</b> |

[PAY BY E-CHECK OR CREDIT/DEBIT CARD](#)

[View Map](#)

Updated 05/05/2026 02:59:43 AM

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WATER DEPARTMENT OFFICIALS: AS OF JANUARY 1, 2021 PLEASE UTILIZE THE TRANSFER TAB ON THE MYPLACE SITE TO DETERMINE OWNERSHIP FOR CREATING OR CLOSING ACCOUNTS. PARCEL DATA ON PROPERTY TRANSFERS ARE UPDATED DAILY. THEREFORE, YOU CAN NOW RELY ON THIS SITE FOR ACCURATE REAL PROPERTY OWNERSHIP. YOU ARE ALSO WELCOME TO ACCEPT COPIES OF RECORDED DEEDS FROM OUR OFFICE.

THANK YOU



APPLICANT: Mendel Jewish Community Center

| P&Z:                                | ZONING DATA                 |                             | DATE:    |
|-------------------------------------|-----------------------------|-----------------------------|----------|
| ZONING STANDARDS                    | REQUIRED                    | PROPOSED                    | VARIANCE |
| ZONING DISTRICT                     | U-5                         | U-5                         |          |
| MINIMUM LOT AREA                    |                             |                             |          |
| MINIMUM LOT FRONTAGE                |                             |                             |          |
| MINIMUM FRONT YARD BUILDING SETBACK | 75'                         | 75'                         | 0        |
| MINIMUM SIDE YARD BUILDING SETBACK  | 50'                         | 50'                         | 0        |
| MINIMUM REAR YARD BUILDING SETBACK  | 50'                         | 50'                         | 0        |
| MAXIMUM BUILDING HEIGHT             | .                           |                             |          |
| MINIMUM LANDSCAPED AREA             | 25%                         | > 26%                       | 0        |
| MINIMUM PARKING SETBACKS            | Front =<br>Side =<br>Rear = | Front =<br>Side =<br>Rear = |          |
| MINIMUM DRIVE AISLE                 |                             |                             |          |
| MINIMUM PARKING STALL               |                             |                             |          |
| MINIMUM OFF-STREET PARKING          |                             |                             |          |
| SITE DEVELOPMENT PLANS              |                             |                             |          |

05.04.2026

# MJCC DAY CAMP

## DESIGN PROGRAM

| <b>DAY CAMP FACILITIES</b> | AREA/QTY | UNITS |
|----------------------------|----------|-------|
|----------------------------|----------|-------|

|   |        |    |
|---|--------|----|
| MOADONS, HOME BASE PAVILIONS (WITH BATHROOMS) | 16,000 | SF |
| FIELDHOUSE                                    | 18,000 | SF |
| RECREATION POOL                               | 16,000 | SF |
| MEMBER POOL                                   | 10,000 | SF |
| SPLASH PAD                                    | 2,000  | SF |
| AMPHITHEATER / GATHERING                      | 2,500  | SF |
| SPORTS FIELD                                  | 45,000 | SF |
| COURT SPORTS                                  | 9,000  | SF |
| ADVENTURE CENTER - HIGH ROPES                 |        |    |
| ARTS PAVILIONS                                | 1,800  | SF |
| OUTDOOR COOKING                               | 400    | SF |
| NATURE PAVILION                               | 200    | SF |
| ARCHERY PAVILIONS                             | 600    | SF |

### **MJCC BUILDING**

|                                  |       |        |
|----------------------------------|-------|--------|
| STONEHILL RENOVATION / EXPANSION | 3,000 | ADD SF |
|----------------------------------|-------|--------|

### **GENERAL SITE DEVELOPMENT**

- WALKING AND CONNECTING PATHS AND SIDEWALKS
- PLAZAS / PATIOS
- AMENITIES
- LANDSCAPING / TREES
- STORM WATER MANAGEMENT
- PARKING AND DRIVES
- DEMOLITION AND SECURE ANISFIELD
- UTILITIES / INFRASTRUCTURE

THE VAN SWERINGEN CO.'S SUBDIVISION NO. 45  
VOL. 116 PGS. 8-10  
CITY CO. MAP RECS.

RICHMOND ROAD 100' (WIDENING VOL. 107 PG. 1 C.C.M.R.)

1536.57' REC. N. 0°08'18" W. 1536.24' OBS.

100.00' REC. 100.34' OBS.

516" IRON PIN FOUND (W/ 1" DIA. CO. NUT) USED FOR LIND.

100.00' REC. 100.34' OBS.

P.P. 742-03-002

P.P. 742-03-004

756.33' REC. 756.21' OBS.

80°13'31" REC. 80°13'31" OBS.

533.75' REC. & MSD.

SOUTH WOODLAND RD.

1009.01' REC. & MSD.

40°30'00" REC. 40°54'52" OBS.

16' 3"

1685.64' REC. N. 84°31'30" E. 1685.61' OBS.

(VOL. 12516 PG. 67)

(VOL. 12516 PG. 63)

N. 0°08'18" W. 764.18' REC. & OBS.

2288.84' REC. N. 84°55'45" W. 2288.73' OBS.

SOUTH WOODLAND ROAD 100'  
(DEDICATION VOL. 102 PG. 19 C.C.M.R.)

THE VAN SWERINGEN CO.'S  
SHAKER COUNTRY EASTES SUBDIVISION NO. 38  
VOL. 111 PGS. 34-38  
CITY CO. MAP RECS.

P.P. 742-03-008  
TIFFEREKH ISRAEL SOCIETY OF THE CITY OF CLEVELAND  
JULY 23, 1969  
VOL. 12539 PG. 245

TIFFEREKH ISRAEL SOCIETY OF THE CITY OF CLEVELAND  
JULY 23, 1969  
VOL. 12539 PG. 253

P.P. 742-04-001  
JEWISH COMMUNITY FEDERATION OF CLEVELAND  
JULY 29, 1985  
VOL. 85-4247 PG. 24 & 28

516" IRON PIN FOUND (W/ 1" DIA. CO. NUT) USED FOR LIND.

2806.90' REC. 2807.01' OBS.  
S. 49°04'23" W.

616.51' REC. 616.60' OBS.

P.P. 742-04-003

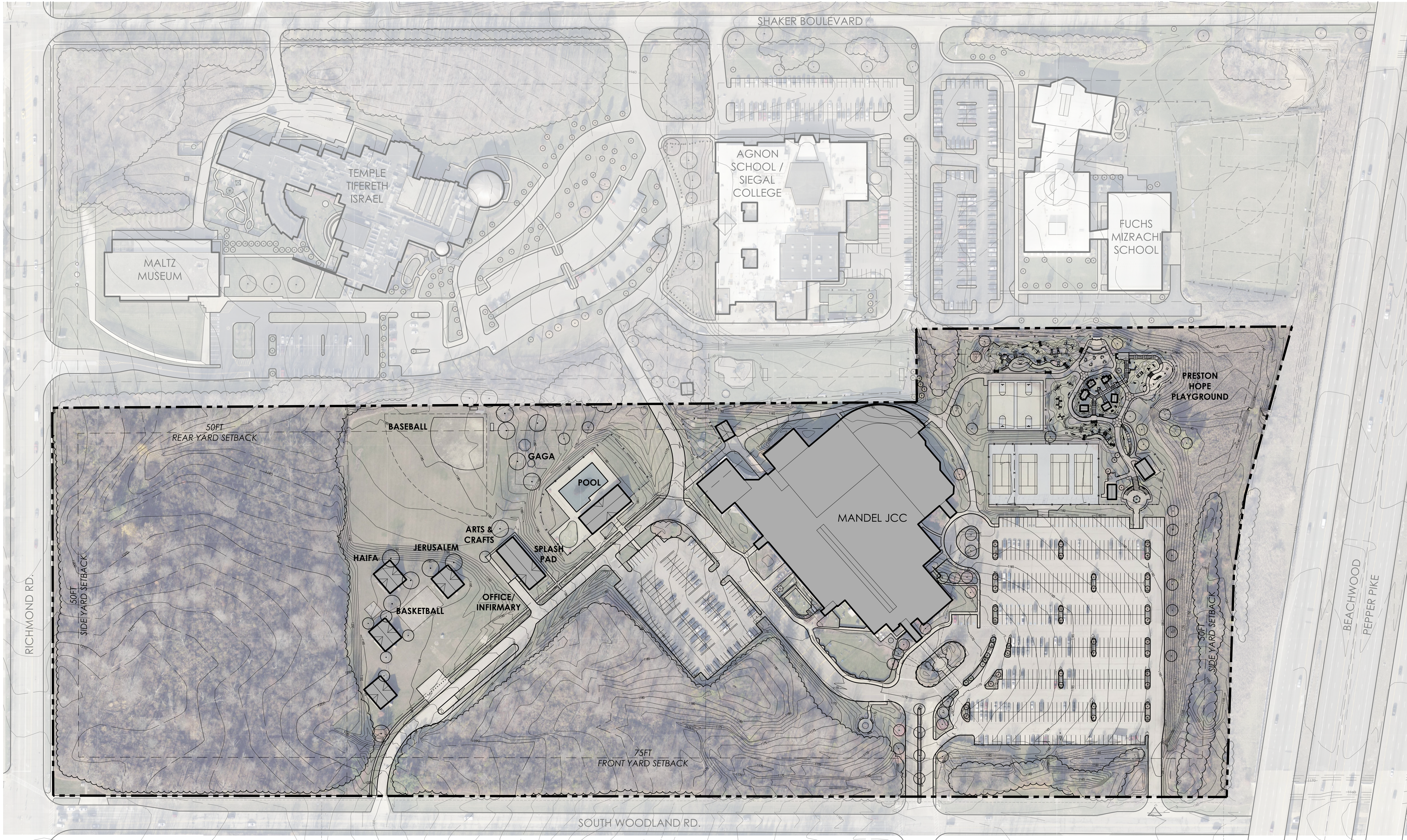
JEWISH COMMUNITY CENTER OF CLEVELAND  
JUNE 1, 1983  
VOL. 83-0147 PG. 801

516" IRON PIN FOUND (W/ 1" DIA. CO. NUT) USED FOR LIND.

100.00' REC. 100.34' OBS.

142.43' REC. 142.47' OBS.

5.88' REC. & OBS.

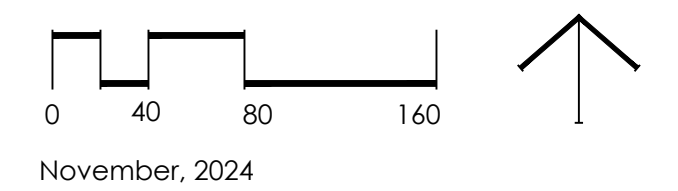


# J-DAY CAMPS MANDEL JCC OF CLEVELAND - EXISTING CONDITIONS PLAN

26001 S WOODLAND RD., BEACHWOOD, OHIO 44122

### SITE DATA

|                    |   |
|--------------------|---|
| ZONING:            | U-5   |
| BUILDING HEIGHT:   | 2 STORY/40FT  |
| SETBACKS:          | 75FT FRONT YARD<br>50FT SIDE YARD<br>50FT REAR YARD |
| BUILDING COVERAGE: | 25% MAX<br>30% MAX W/ ADJ. PARKING                  |
| EXISTING COVERAGE: | 8%  |



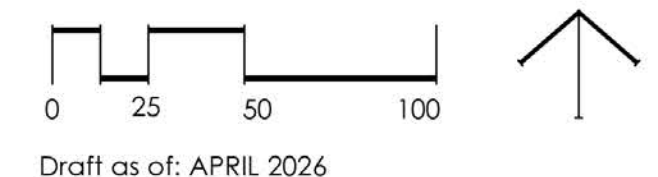
November, 2024



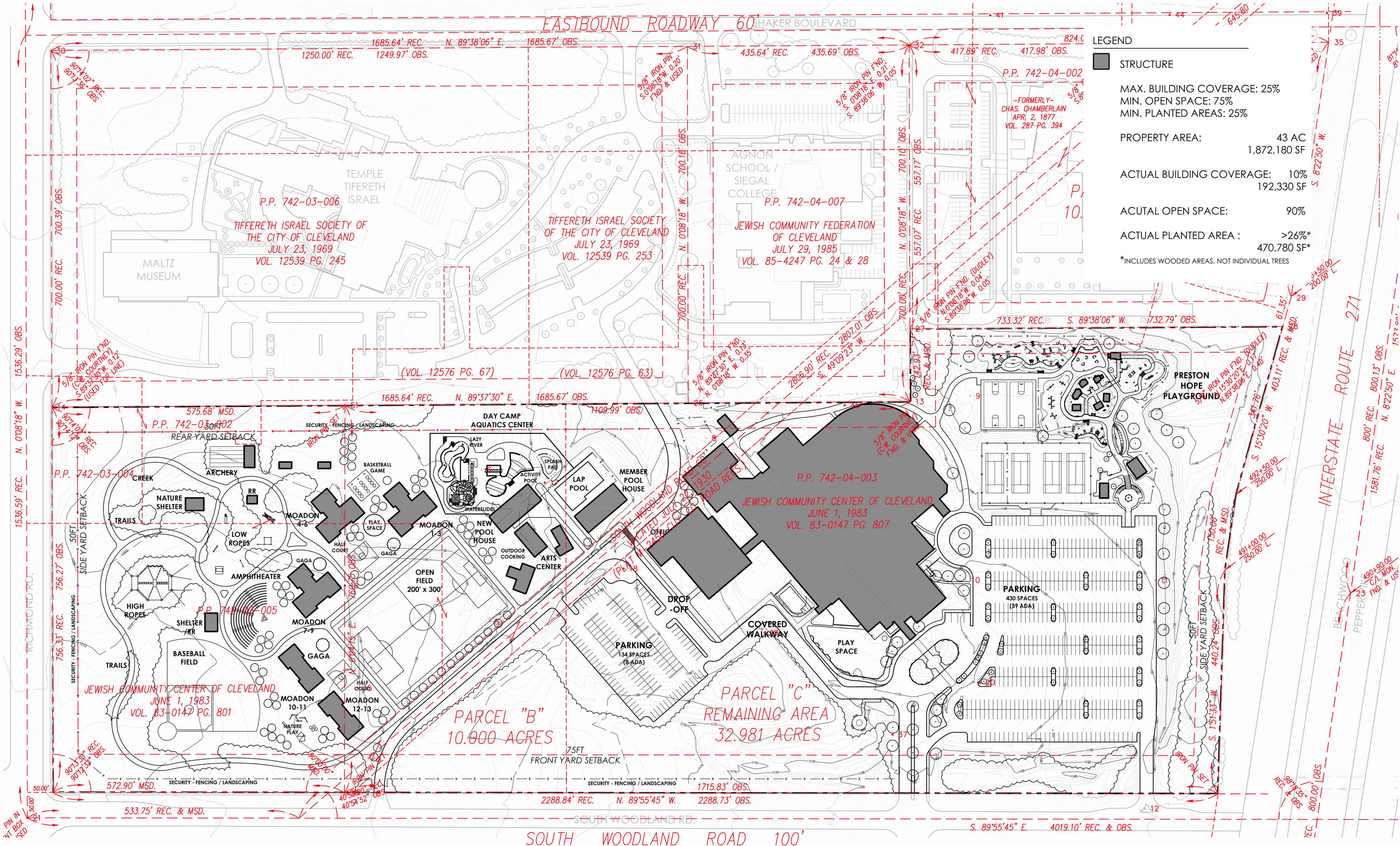
# J-DAY CAMPS

## MANDEL JCC OF CLEVELAND - PRELIMINARY SITE PLAN

26001 S WOODLAND RD., BEACHWOOD, OHIO 44122



Draft as of: APRIL 2026



**LEGEND**

■ STRUCTURE

MAX. BUILDING COVERAGE: 25%  
 MIN. OPEN SPACE: 75%  
 MIN. PLANTED AREAS: 25%

PROPERTY AREA: 43 AC  
 1,872,180 SF

ACTUAL BUILDING COVERAGE: 10%  
 192,330 SF

ACTUAL OPEN SPACE: 90%

ACTUAL PLANTED AREA: >26%\*  
 470,780 SF\*

\*INCLUDES WOODED AREAS, NOT INDIVIDUAL TREES

# J-DAY CAMPS

## MANDEL JCC OF CLEVELAND - SITE ANALYSIS - HARDCOVER

26001 S WOODLAND RD., BEACHWOOD, OHIO 44122

**SITE DATA**

|                    |   |
|--------------------|---|
| ZONING:            | U-5   |
| BUILDING HEIGHT:   | 2 STORY/40FT  |
| SETBACKS:          | 75FT FRONT YARD<br>50FT SIDE YARD<br>50FT REAR YARD |
| BUILDING COVERAGE: | 25% MAX<br>30% MAX W/<br>ADJ. PARKING               |
| EXISTING COVERAGE: | 8%  |

Scale: 0 25 50 100  
 Draft as of: MARCH 2026

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: May 13, 2026

RE: **P&Z 2026-17      Brandstetter Carroll Inc.  
Mandel JCC  
26001 South Woodland  
Preliminary Site developmentPlan Approval**



This request is for both preliminary site development plan approval for expansion and redevelopment of the children’s day camp at the Mandel Jewish Community Center. The subject site is in the U-5 Public and Institutional District. The proposed plan would upgrade and substantially expand the existing day camp. Enhancements include a new field house, expanded parking, new fields, a new pool house, new pavilions, an amphitheater, trails, an addition to the existing theater in the main building, and high and low ropes. Access to the site would remain as presently configured with entrance via the main entrance and an exit only as presently configured.

The proposed plan conforms to all of the setback requirements of the U-5 District and requires no variances. The applicants have provided a detailed breakdown of the camp facilities with projected sizes. This represents a major enhancement to the JCC facility and a great addition to the City of Beachwood.

Preliminary site development plan approval is recommended subject to any comments or recommendations of the City Engineer.

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: May 28, 2026

Report Date: May 14, 2026

To: Traci Gallagher  
From: Joseph R. Ciuni P.E. P.S.  
City Engineer

**AGENDA ITEM - 12**

**P & Z 2026 -17**

**Richard Parker has requested preliminary site plan approval for site and building redevelopment for the children's day camp at 26001 South Woodland Road, Mandel Jewish Community Center.**

We recommend preliminary approval of this item.

Fire Prevention Bureau

## P&Z Report

**To:** Planning and Zoning Commission  
**From:** Matthew Domonkos, Assistant Chief  
**Date:** 05/12/2026  
**Re:** P&Z #2026-17 26001 South Woodland (Site Plan)

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The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department would like both gates on property to be converted to electric gates with our traffic preemption built in. This would allow access for both police and fire in the event of any emergencies.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief