

CITY OF *Beachwood*

**Beachwood Planning and Zoning Commission Meeting
Thursday, April 30, 2026, 6:30 PM
at Beachwood City Hall, Council Chambers,
25325 Fairmount Boulevard, Beachwood, Ohio 44122**

Amended Agenda

New Business

Agenda Items

1. Roll Call
2. Approval of Minutes of the March 26, 2026, Planning and Zoning Commission Meeting
3. Council Report
4. Citizen's Remarks
5. Planning and Zoning Commission
2026-8 Ruth Hatchuel has requested a 5.4' side yard setback variance for a bathroom addition at 2657 Elmhurst Drive, in accordance with BCO Section 1113.07, Side Yards.
6. Planning and Zoning Commission
2026-9 Bryan Wietrzykowski has requested preliminary and final site plan approval for a parking lot addition at 3025 Science Park Drive, Select Medical.
7. Planning and Zoning Commission
2026-10 Ben Grinblatt has requested preliminary and final approval for lot consolidation of PPN 741-09-002, 2509 South Green Road, and PPN 741-09-001, 2515 South Green Road.
8. Planning and Zoning Commission
2026-11 William Leonetti has requested a 31' rear yard variance for a sunroom addition at 24430 Shaker Blvd, in accordance with BCO Section 1113.08(a), Rear Yards.



CUYAHOGA COUNTY, *Ohio*

MyPlace

Please be advised that the Fiscal Office identified a clerical error that was submitted to the State of Ohio. This error resulted in an incorrect tax rate calculation for Class II properties only (Commercial/ Industrial) for Tax Year 2024/Collection Year 2025. The Fiscal Office worked with the State of Ohio to correct the error. The correction will appear on tax bills due in February 2026 as an omitted tax.

THIS DOES NOT AFFECT RESIDENTIAL PROPERTY

For questions, please call 216-443-7420, Option 3 (Appraisal Department).

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ACTIVITY

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Primary Owner

HATCHUEL, RUTH D

Property Address

2657 Elmhurst Dr Beachwood, OH 44122

Tax Mailing Address

HATCHUEL, RUTH D 2657 ELMHURST DR BEACHWOOD, OH 44122

Description

18 FAIRGREEN &S/L65 NP 0066 ALL 74107077

Property Class

SINGLE FAMILY DWELLING

Parcel Number

741-07-076

Taxset

Beachwood

Tax Year

2025 Pay 2026 ▼

PAY BY E-CHECK OR CREDIT/DEBIT CARD

Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

Taxable Assessed Values

Land Value	\$24,500
Building Value	\$68,040
Total Value	\$92,540

First Half Year Charge Amounts

Gross Tax	\$5,631.52
Less 920 Reduction	\$3,059.79
Sub Total	\$2,571.73
Non-business Credit	\$193.12
Owner Occupancy Credit	\$48.28
Homestead Reduction	\$.00
Total Assessments	\$65.25
Half Year Net Taxes	\$2,395.58

Taxable Market Values

Land Value	\$70,000
Building Value	\$194,400
Total Value	\$264,400

Second Half Year Charge Amounts

Gross Tax	\$5,631.52
Less 920 Reduction	<u>\$3,059.79</u>
Sub Total	\$2,571.73
Non-business Credit	\$193.12
Owner Occupancy Credit	\$48.28
Homestead Reduction	\$0.00
Total Assessments	<u>\$65.25</u>
Half Year Net Taxes	<u><u>\$2,395.58</u></u>

Flags

Owner Occupancy Credit	Y
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Rates

Full Rate	121.71
920 Reduction Rate	.543333
Effective Rate	55.581001

Escrow

Escrow	N
Payment Amount	\$0.00

Tax Balance Summary

Charges

\$4,791.16

Payments

\$2,395.58

Balance Due

\$2,395.58

2025 (pay in 2026) Charge and Payment Detail

Taxset	Charge Type	Charges	Payments	Balance Due
Beachwood				
	1st half tax	\$2,330.33	\$2,330.33	\$0.00
	1ST HALF BALANCE	\$2,330.33	\$2,330.33	\$0.00
	2nd half tax	\$2,330.33	\$0.00	\$2,330.33
	2ND HALF BALANCE	\$2,330.33	\$0.00	\$2,330.33
C100030C-SEWER MAINTENANCE				
	1st half tax - 2025	\$65.25	\$65.25	\$0.00

1ST HALF BALANCE	\$65.25	\$65.25	\$.00
2nd half tax - 2025	\$65.25	\$.00	\$65.25
2ND HALF BALANCE	\$65.25	\$.00	\$65.25

Total Balance

Charges	Payments	Balance Due
\$4,791.16	\$2,395.58	\$2,395.58

PAY BY E-CHECK OR CREDIT/DEBIT CARD

Top

View Map

Updated :03/17/2026 02:57:20 AM

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THANK YOU

Residential Calculations

Date: 03/20/2026

Address: 2657 Elmhurst Dr.

Lot Information: 87.00' x 126.00'

Total square foot of Lot Area: 9828.00'

Building Setback Line: BCO 1113.06 (a) (b) (c)

Distance of building line back from the right of way shall be 20% of the depth or 35' whichever is greater.

Required: 35.00'

Proposed: 38.00' Existing. No Change.

Rear Yard: BCO 1113.08 (a)

30% of Average depth, but such least dimension need not be more than forty feet. (40')

Required: 33.90'

Proposed: 42.00' No change.

Side Yards: BCO 1113.07 Table

Required: 24.00 Combined. 12.00' Minimum

Proposed: South Side: No change. North Side: 6.6042'

Variance: 5.3958' or 5'- 4 3/4"



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



A | SITE

SCALE: 3/64" = 1'-0"



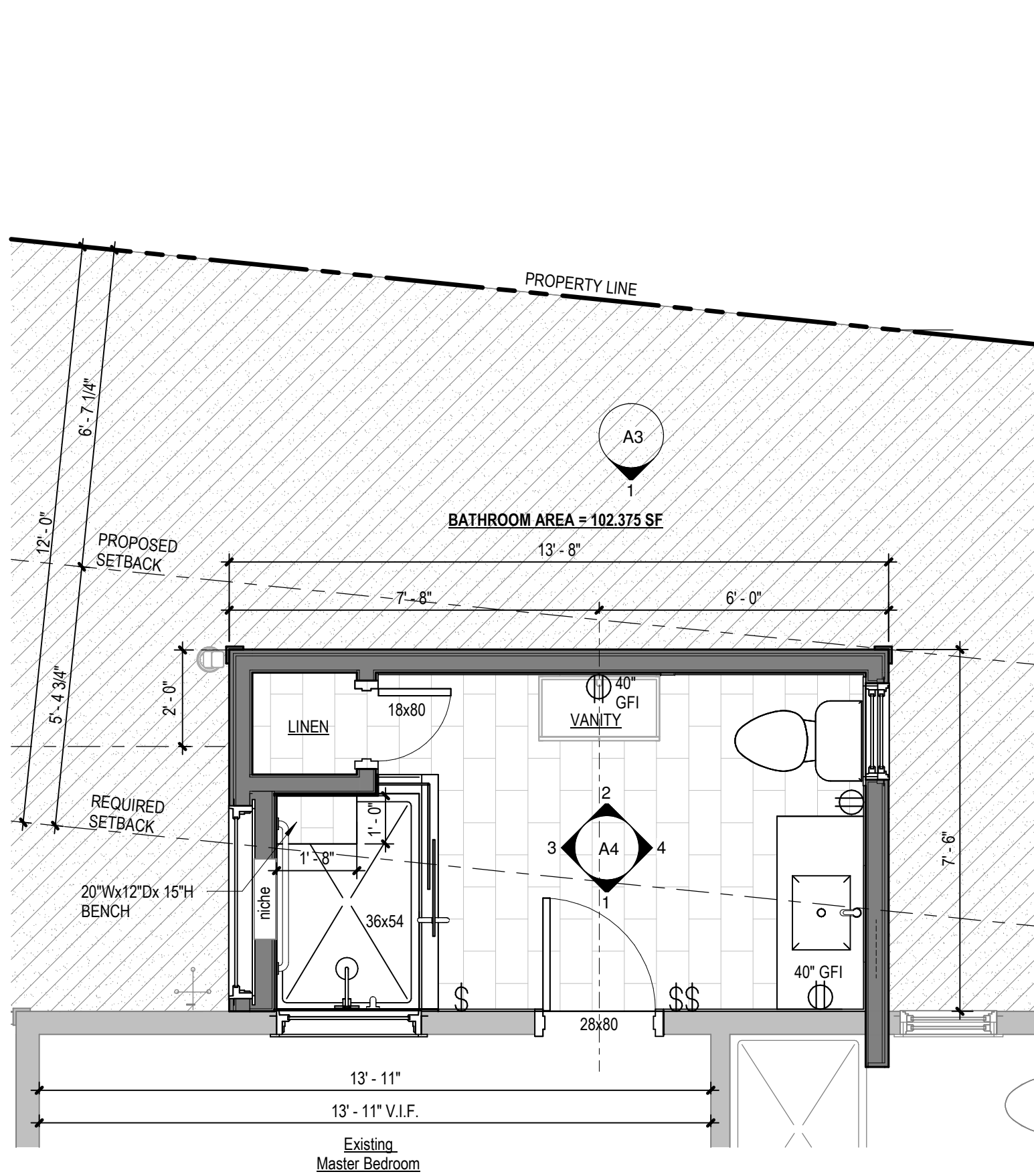
PLANNING & ZONING
SUBMITTAL
03/30/26

DRAWING INDEX	
SHEET NAME	
A1 - SITE PLAN & EXISTING CONDITIONS	
A2 - FLOOR PLAN	
A3 - EXTERIOR ELEVATIONS	
A4 - INTERIOR ELEVATIONS	
A5 - STREET VIEWS	

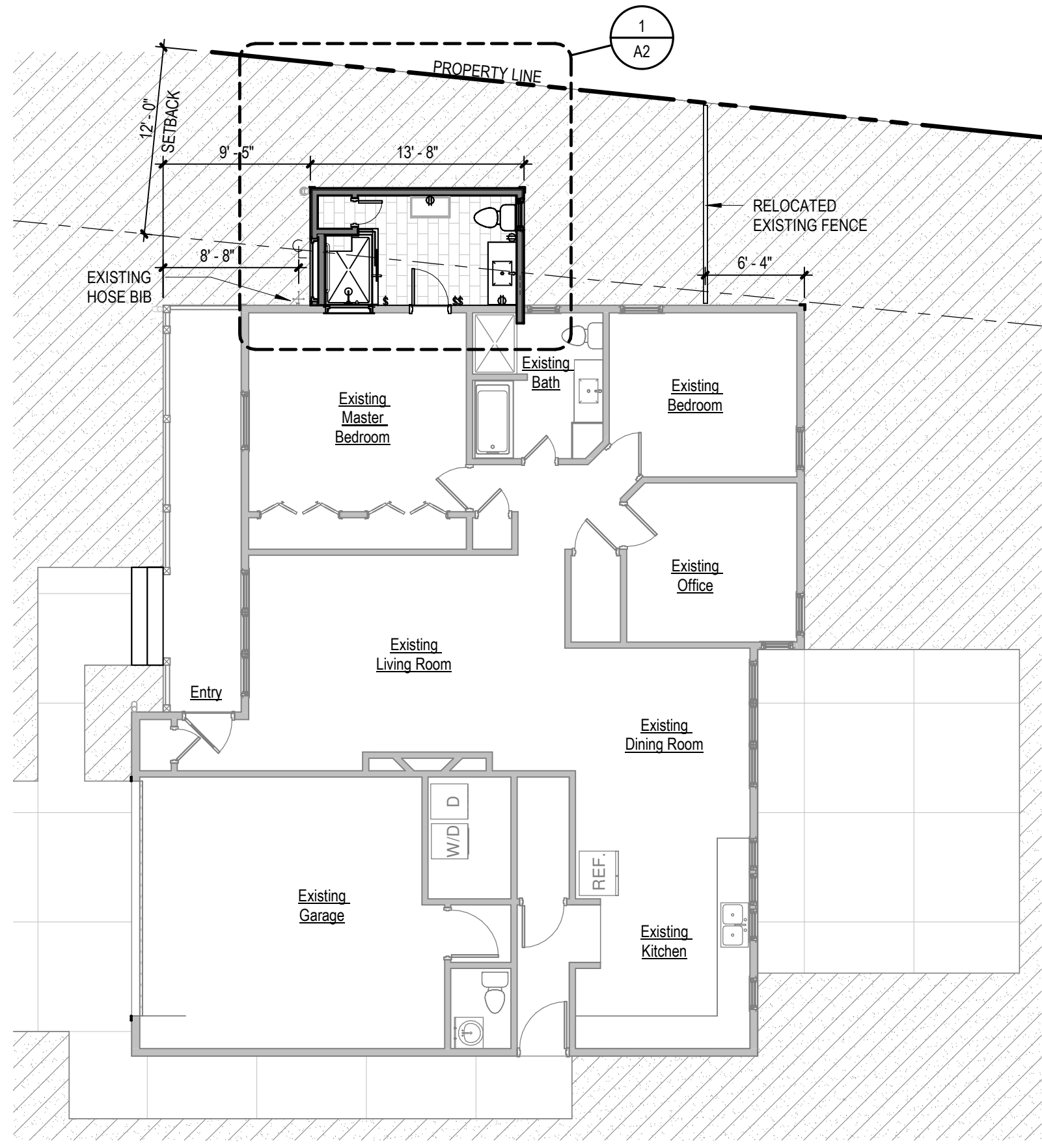
Bathroom Addition

2657 Elmhurst Rd., Beachwood OH 44121

A1 - SITE PLAN & EXISTING CONDITIONS



1 | BATHROOM ENLARGED PLAN
 SCALE: 3/8" = 1'-0"
 N



A | 1ST FLOOR - OVERALL
 SCALE: 1/8" = 1'-0"
 N

Bathroom Addition
 2657 Elmhurst Rd., Beachwood OH 44121
A2 - FLOOR PLAN

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: April 8, 2026

RE: **P&Z 2026-8** **Ruth Hatchuel**
2657 Elmhurst Drive
Side Setback Variance



This request is for approval of a side yard setback variance of 6.6 feet to accommodate a proposed addition for an accessible bathroom on the side of the existing dwelling. The subject site is located in the U-1 Single Family Residential District. Side yard setbacks pursuant to Section 1113.07 are determined with a sliding scale based on lot frontage.

The subject site is located on the inside of the curve in Elmhurst Drive between Fairmount Boulevard and Fernwood Drive. Because of its orientation, the lot is pie-shaped with the rear of the lot being narrower than the front. Based on the lot frontage at the street, the required side yard setback is a minimum of 12 feet. The actual lot width at the building setback line is closer to 70 feet because of the pie-shape. The rear line of the lot is about 65 feet in width.

The practical difficulty arises from the shape of the lot and the fact that the Code bases the side yard setback on the street frontage, which is the widest portion of the lot. Typically, a lot that is 70 feet wide would have a minimum side yard of 7 feet. The applicant is seeking a side yard of 6.6 feet. It appears that the amount of the request is reasonable and that there is a practical difficulty based upon the shape of the lot.

Should the Commission determine to grant the variance, the following findings and stipulations are recommended:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section 1113.07 with regard to the minimum required side yard setback.
2. Granting a variance of 5.4 feet to Section 1113.05 to permit the dwelling to be located 6.6 feet from the side lot line in lieu of the Code required 12 feet.

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: April 30, 2026

Report Date: April 09, 2026

To: Brian Roenigk
From: Joseph R. Ciuni P.E. P.S.
City Engineer

AGENDA ITEM - 5

P & Z 2026 -08

Ruth Hatchuel has requested a 5.4-foot side yard variance for a bathroom addition at 2657 Elmhurst Drive, in accordance with BCO Section 1113.07, Side Yards.

There are no Engineering comments on this application. There are also no objections to the approval of this application.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 04/07/2026
Re: P&Z # 2026-8 2657 Elmhurst dr. (Variance)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: _____

OWNER OF BUILDING: Cleveland Clinic Foundation PHONE: 216-444-2200STREET ADDRESS: 9500 Euclid Ave.CITY/STATE/ZIP: Cleveland, OH 44195APPLICANT: Bryan Wietrzykowski PHONE: 630-408-8466COMPANY OR FIRM: Select MedicalEMAIL: Bwietrzykowski@selectmedical.comSTREET ADDRESS: 4714 Gettysburg Rd.CITY/STATE/ZIP: Mechanicsburg, PA 17055**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**Bill Vasko - Verdantas, wvasko@verdantas.comBryan Wietrzykowski - Select Medical, Bwietrzykowski@selectmedical.com**DESCRIPTION OF THE PROPERTY:**ADDRESS: 3025 Science Park Dr, Beachwood, OH 44122 SUITE # _____TENANT NAME: Select MedicalPERMANENT PARCEL # 742 19 016 PRESENT USE: MED CLIN PROPOSED USE: n/aPURPOSE OF APPLICATION: Parking lot addition**NATURE OF THE REQUEST (check as many as apply):**

- Preliminary site plan approval
 Final site plan approval
 Lot split
 Lot consolidation
 Conditional use permit
 Rezoning
 Zoning text amendment
 Other _____
 Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (**must indicate a hardship**):n/aAre there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. n/a

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

Bryan Wietrzykowski
SIGNATURE

Bryan Wietrzykowski
PRINTED NAME

3/13/2026
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____



CUYAHOGA COUNTY, *Ohio*

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ACTIVITY

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Primary Owner

CLEVELAND CLINIC FOUNDATION

Property Address

SOUTH WOODLAND RD BEACHWOOD, OH 44122

Tax Mailing Address

Bank of America 2595 W CHANDLER BLVD CHANDLER, AZ 85224

Description

VOL 385 PG 21 S/L PCL A FF 557.57 D 798.59 AC 8.286 40 50 OL ADDITIONAL PARCELS 74219002 AND 74219003 2017 SR

Property Class

MEDICAL CLINICS AND OFFICES

Parcel Number

742-19-016

Taxset

Beachwood

Tax Year

2025 Pay 2026 ▼

PAY BY E-CHECK OR CREDIT/DEBIT CARD

Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

Taxable Assessed Values

Land Value	\$1,010,630
Building Value	\$6,892,130
Total Value	<u>\$7,902,760</u>

First Half Year Charge Amounts

Gross Tax	\$480,922.46
Less 920 Reduction	<u>\$188,314.54</u>
Sub Total	\$292,607.92
Non-business Credit	\$.00
Owner Occupancy Credit	\$.00
Homestead Reduction	\$.00
Total Assessments	<u>\$962.55</u>
Half Year Net Taxes	<u>\$293,570.47</u>

Taxable Market Values

Land Value	\$2,887,500
Building Value	<u>\$19,691,800</u>
Total Value	<u>\$22,579,300</u>

Second Half Year Charge Amounts

Gross Tax	\$480,922.46
Less 920 Reduction	<u>\$188,314.54</u>
Sub Total	\$292,607.92
Non-business Credit	\$.00
Owner Occupancy Credit	\$.00
Homestead Reduction	\$.00
Total Assessments	<u>\$962.55</u>
Half Year Net Taxes	<u><u>\$293,570.47</u></u>

Flags

Owner Occupancy Credit	N
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Rates

Full Rate	121.71
920 Reduction Rate	.391569
Effective Rate	74.052084

Escrow

Escrow	N
Payment Amount	\$.00

Tax Balance Summary

Charges

\$588,893.28

Payments

\$295,322.81

Balance Due

\$293,570.47

2025 (pay in 2026) Charge and Payment Detail

Taxset	Charge Type	Charges	Payments	Balance Due
Beachwood				
	1st omitted tax	\$1,752.34	\$1,752.34	\$.00
	1st half tax	\$292,607.92	\$292,607.92	\$.00
	1ST HALF BALANCE	\$294,360.26	\$294,360.26	\$.00
	2nd half tax	\$292,607.92	\$.00	\$292,607.92
	2ND HALF BALANCE	\$292,607.92	\$.00	\$292,607.92

C100030C-SEWER MAINTENANCE

1st half tax - 2025	\$962.55	\$962.55	\$.00
1ST HALF BALANCE	\$962.55	\$962.55	\$.00
2nd half tax - 2025	\$962.55	\$.00	\$962.55
2ND HALF BALANCE	\$962.55	\$.00	\$962.55

Total Balance

Charges	Payments	Balance Due
\$588,893.28	\$295,322.81	\$293,570.47

PAY BY E-CHECK OR CREDIT/DEBIT CARD

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View Map

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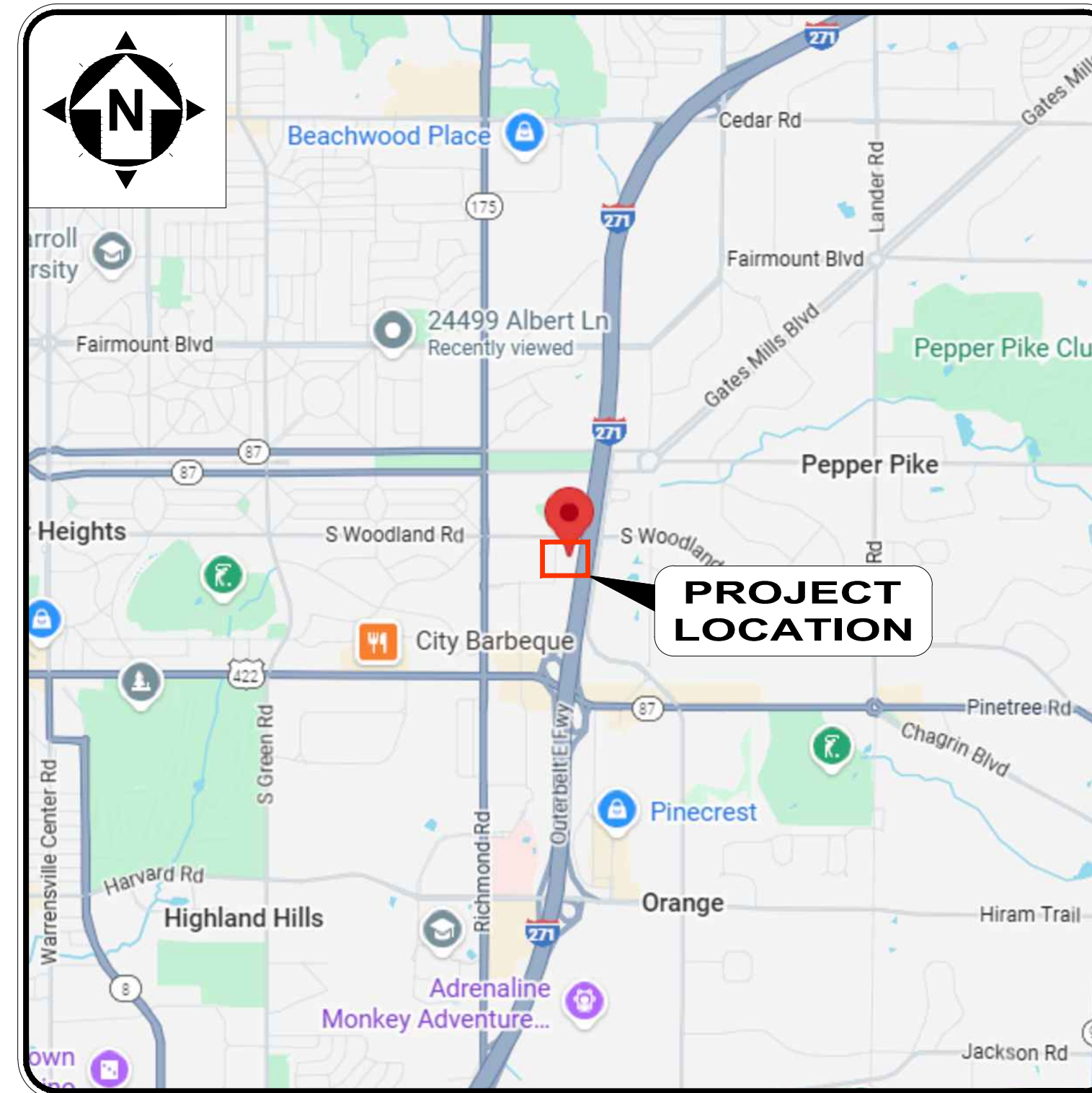


CLEVELAND CLINIC REHABILITATION HOSPITAL SELECT MEDICAL PARKING LOT BEACHWOOD EXPANSION PROJECT

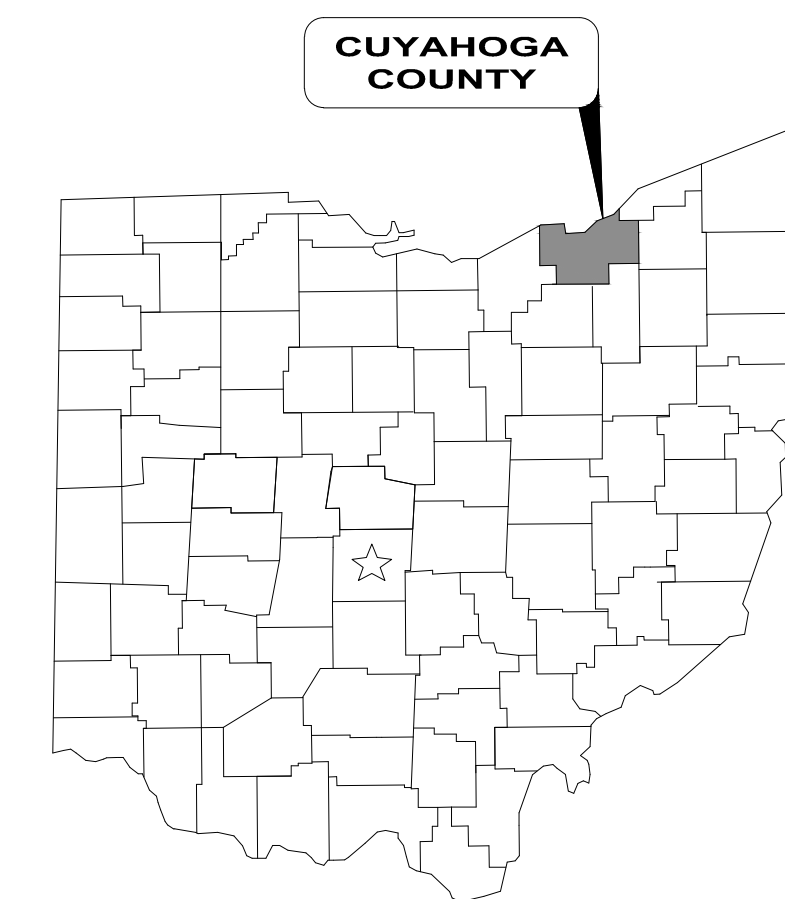
CUYAHOGA COUNTY, OHIO

MARCH 2026

Sheet List Table	
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2	GENERAL NOTES
3	DEMOLITION & E&SC PLAN
4	VICINITY MAP
5	SITE PLAN - PARKING LOT
6	SITE PLAN - ADDITIONAL WALK 1
7	SITE PLAN - ADDITIONAL WALK 2
8	GRADING AND DRAINAGE PLAN 1
9	GRADING AND DRAINAGE PLAN 2
10	SITE DETAILS 1
11	SITE DETAILS 2
12	LIGHTING PLAN
13	PHOTOMETRIC PLAN



LOCATION MAP
NOT TO SCALE



ENGINEER:

VERDANTAS LLC
1001 LAKESIDE AVE E, SUITE 1005
CLEVELAND, OHIO 44114

(216) 430-8500 PHONE

PROJECT SITE:

THE PROJECT IS LOCATED AT 3025 SCIENCE
PARK DRIVE JUST SOUTH OF S. WOODLAND
ROAD IN BEACHWOOD, OHIO.

1. UNDERGROUND BUILDING SERVICE UTILITY LINES ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, MAINTAINING AND REPLACING AS NECESSARY TO ENSURE CONTINUAL SERVICE TO BUILDINGS.
2. THE CONTRACTOR IS RESPONSIBLE TO CALL OHIO UTILITIES PROTECTION SERVICE @ 1-800-362-2764, THREE WORKING DAYS PRIOR TO CONSTRUCTION.

William Vasko

WILLIAM VASKO



P.E. No. 86752

3/24/2026

DATE

ENGINEER'S PROJECT No. 39364

GENERAL NOTES

- THE CONTRACTOR MUST CONTACT OUPS (OHIO UTILITIES PROTECTION SERVICE) AT 800-362-2764 OR 811 AT LEAST 48 HOURS, BUT NO MORE THAN 10 WORKING DAYS, BEFORE BEGINNING ANY DIGGING, EXCLUDING SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS. NON-MEMBER UTILITIES MUST BE CONTACTED DIRECTLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE REQUIREMENTS OF OUPS. THE CONTRACTOR SHALL COORDINATE THE MARKINGS AND/OR LOCATING TO STAY A MINIMUM OF 2 WORKING DAYS AHEAD OF PLANNED CONSTRUCTION ACTIVITIES.
- ALL WORK REQUIRED TO COMPLETE THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE 2023 EDITION OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION (ODOT) CONSTRUCTION AND MATERIAL SPECIFICATIONS OR THE SPECIFICATIONS/ REQUIREMENTS OF THE CITY, EXCEPT AS PROVIDED ON THESE CONSTRUCTION PLANS. WHERE CONFLICTS OCCUR IN THE ABOVE, THE NOTES AND DETAILS ON THESE CONSTRUCTION PLANS SHALL TAKE PRECEDENCE, UNLESS OTHERWISE DIRECTED BY THE DESIGN ENGINEER.
- THERE SHALL BE NO DEVIATION FROM THE APPROVED CONSTRUCTION PLANS WITHOUT PRIOR WRITTEN APPROVAL. ANY DEVIATION WITHOUT PRIOR WRITTEN APPROVAL SHALL BE AT THE CONTRACTOR'S RISK AND EXPENSE.
- ALL WORK INCLUDING PERMIT AND INSPECTION FEES REQUIRED FOR REMOVAL, RELOCATION OR NEW WORK AS PART OF THESE CONSTRUCTION PLANS SHALL BE PERFORMED BY AND AT THE EXPENSE OF THE CONTRACTOR, UNLESS DIRECTED IN WRITING BY THE OWNER. THE CONTRACTOR SHALL CONTACT, OBTAIN FROM AND PAY TO THE APPROPRIATE TOWNSHIP OR COUNTY DEPARTMENTS OR UTILITY COMPANIES FOR PERMITS AND FEES REQUIRED TO PERFORM THE WORK.
- THE BIDDER SHALL EXAMINE THESE CONSTRUCTION PLANS AND VIEW THE SITE TO BECOME WITH ALL MATTERS WHICH MAY AFFECT PERFORMANCE AND COMPLETION OF THE WORK. QUANTITIES PROVIDED ARE ESTIMATED, AND THE BIDDER IS RESPONSIBLE FOR VERIFYING BID QUANTITIES PRIOR TO SUBMITTING A BID. IF DISCREPANCIES ARE DISCOVERED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGN ENGINEER SO THE APPROPRIATE ADJUSTMENT OR CORRECTION MAY BE MADE. THE ACT OF SUBMITTING A BID SHALL MEAN THAT THE BIDDER HAS COMPLIED WITH ALL REQUIREMENTS OF THIS NOTE, AND THEREFORE NO CONCESSION WILL BE GRANTED BECAUSE OF CLAIM OF MISUNDERSTANDING OR LACK OF INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT STAKING INCLUDING HORIZONTAL AND VERTICAL CONTROL. THESE CONSTRUCTION PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC LAYOUT STAKING. ANY DISCREPANCIES DISCOVERED IN THE CONSTRUCTION PLAN INFORMATION, OR BETWEEN THE CONSTRUCTION PLAN AND ELECTRONIC DATA, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER SO THE APPROPRIATE ADJUSTMENTS MAY BE MADE PRIOR TO THE START OF CONSTRUCTION OR THE CONTINUATION OF THE SAME. THE DESIGN ENGINEER MAKES NO REPRESENTATION REGARDING FITNESS FOR ANY PARTICULAR PURPOSE, OR SUITABILITY FOR USE WITH ANY SOFTWARE OR HARDWARE. DUE TO THE EASILY ALTERABLE NATURE OF ELECTRONIC DOCUMENTS, THROUGH EITHER UNINTENTIONAL OR INTENTIONAL MEANS, THE DESIGN ENGINEER DOES NOT MAKE ANY EXPRESS OR IMPLIED WARRANTY FOR THE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND THEREFORE, ACCEPTS NO LIABILITY FOR THE COMPLETENESS, CORRECTNESS OR LEGIBILITY OF THE ELECTRONIC DATA. HARD COPIES (I.E., PRINTS, PAPER COPIES, ETC.) SHALL PREVAIL IN ANY DISPUTE OVER ACCURACY OR SUFFICIENCY OF ELECTRONIC DOCUMENTS.
- ALL WORK ON PRIVATE PROPERTY IS SUBJECT TO INSPECTION BY THE OWNER.
- ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP, SHALL BE REPLACED OR CORRECTED BY THE CONTRACTOR BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE WITH NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING WATER, STORM OR SANITARY SYSTEMS RESULTING FROM NON-COMFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE. FAILURE BY THE CONTRACTOR TO VERIFY AND/OR DETERMINE EXISTING INFORMATION WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ANY CHANGES NECESSARY TO COMPLETE THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION.
- SITE VISITS PERFORMED BY THE DESIGN ENGINEER SHALL NOT BE CONSTRUED AS INSPECTIONS OF MEANS AND METHODS OF CONSTRUCTION PERFORMED BY THE CONTRACTOR
- THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION PLANS ON SITE AT ALL TIMES. ATTENTION IS DIRECTED TO THE FACT THE CONSTRUCTION PLANS MAY HAVE BEEN ALTERED IN SIZE DURING PRINTING OR REPRODUCTION, AND MUST BE CONSIDERED WHEN OBTAINING SCALED DATA FROM THE CONSTRUCTION PLANS.
- THE CONTRACTOR SHALL SUBMIT A PLAN OF OPERATIONS FOR REVIEW AND APPROVAL BY THE OWNER THAT WILL INDICATE EQUIPMENT STAGING AREAS, STOCKPILE LOCATIONS AND SANITATION FACILITIES.
- THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES AND IS SOLELY RESPONSIBLE FOR DESIGN AND CONSTRUCTION OF STABLE, TEMPORARY EXCAVATIONS PER LOCAL, STATE AND FEDERAL REGULATIONS INCLUDING OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION). NEITHER THE OWNER OR DESIGN ENGINEER ASSUME RESPONSIBILITY FOR CONSTRUCTION SAFETY OR THE CONTRACTOR'S OR OTHER PARTIES' COMPLIANCE WITH SAFETY REGULATIONS; SUCH RESPONSIBILITY IS NOT BEING IMPLIED AND SHOULD NOT BE INFERRED.
- APPROPRIATE BARRICADES, SIGNS, FENCING, ETC. SHALL BE ERECTED AROUND THE CONSTRUCTION AREA DURING ALL

NON-WORKING HOURS TO ALERT PERSONS OF THE POTENTIAL DANGER ASSOCIATED WITH THE AREA UNDER CONSTRUCTION AS WELL AS TO PREVENT ACCESS BY UNAUTHORIZED PERSONNEL TO THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE GENERAL PUBLIC AS WELL AS ALL CONSTRUCTION PERSONNEL.

- ANY EXISTING ROADWAY, LAWN, CURB, SIDEWALK, SIGN, FENCE, LANDSCAPING ITEM OR OTHER APPURTENANCE DISTURBED DURING CONSTRUCTION BUT NOT DESIGNATED FOR REMOVAL OR REPLACEMENT SHALL BE RESTORED BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED

EXISTING CONDITION AND SURVEY NOTES

- THE EXISTING UNDERGROUND UTILITIES SHOWN WERE OBTAINED FROM VARIOUS SOURCES INCLUDING, BUT NOT LIMITED TO, FIELD OBSERVATIONS (E.G. ABOVE GROUND FEATURES, FLAGGED OR PAINTED MARKED UNDERGROUND UTILITIES) AND RECORDS MADE AVAILABLE (E.G. ORIGINAL CONSTRUCTION PLANS, AS-BUILT DRAWINGS, DISTRIBUTION AND SERVICE MAPS, GIS DATABASES, AERIAL PHOTOGRAPHY) TO CREATE A COMPOSITE DRAWING OF EXISTING CONDITIONS. ALTHOUGH GRAPHICALLY SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE, THERE IS NO GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, OF THE COMPLETENESS, CORRECTNESS OR ACCURACY OF SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE EXISTENCE AS WELL AS THE ACTUAL LOCATION, ALIGNMENT, AND ELEVATIONS OF ALL EXISTING UTILITIES WITHIN AND ADJACENT TO THE GENERAL LIMITS OF THESE IMPROVEMENTS INCLUDING WATERLINES, SANITARY AND STORM SEWERS, GAS LINES, COMMUNICATION LINES/BANKS, ELECTRIC LINES, ETC. THIS MAY REQUIRE EXPLORATORY EXCAVATIONS TO BE PERFORMED BY THE CONTRACTOR FOR WHICH HE WILL NOT BE REIMBURSED. THE CONTRACTOR SHALL NOT ASSUME EXISTING UTILITIES WERE INSTALLED AT TYPICAL DEPTHS OR AT UNIFORM SLOPES, GRADES OR DEPTHS BETWEEN ACCESS POINTS (I.E. CATCH BASINS, MANHOLES).
- THE CONTRACTOR SHALL CONFIRM OR LOCATE ALL UNDERGROUND UTILITIES WITHIN EXCAVATION LIMITS, WHETHER OR NOT SHOWN ON THE CONSTRUCTION PLANS OR FIELD MARKED BY OUPS OR OTHER UTILITY MARKING SERVICE. THE CONTRACTOR SHALL DOCUMENT ANY UTILITY NOT SHOWN OR DIFFERING FROM THE CONSTRUCTION PLANS, AND PROVIDE THE INFORMATION TO THE OWNER SHOWING LOCATIONS WITH MEASUREMENTS TO REFERENCE POINTS. ANY RESULTING UTILITY CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER AND DESIGN ENGINEER.
- THESE CONSTRUCTION PLANS HAVE BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS, EITHER RECORDED OR UNRECORDED. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, RECORD ENCUMBRANCES, RESTRICTIVE COVENANTS OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE SURVEY SHOWN WAS OBSERVED IN THE FIELD FOR CONSTRUCTION PURPOSES ONLY, AND MAY NOT BE SUITABLE FOR PROPERTY LINE SURVEYS OR OTHER PURPOSES.
- THE CONTRACTOR SHALL PRESERVE BENCHMARKS, PROPERTY LINE REFERENCES (E.G., PINS, MONUMENTS) AND CONTROL POINTS. IF DISTURBED, THE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE, BE RESPONSIBLE FOR ERRORS CAUSED BY THEIR DISTURBANCE, AND FURNISH A CERTIFICATION BY A REGISTERED SURVEYOR THEY HAVE BEEN RESTORED.

DEMOLITION NOTES

- NO ATTEMPT HAS BEEN MADE TO NOTE ALL LOCATIONS OR SPECIFIC EXTENT OF DEMOLITION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL DEMOLITION NECESSARY TO EXECUTE THE NEW PLAN INCLUDING COORDINATION OF DEMOLITION WORK WITH NEW WORK SO AS NOT TO CREATE CONFLICTS OF NEW INSTALLATION.
- THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A SUBSURFACE UTILITY LOCATING SERVICE TO FIELD LOCATE PRIVATE UTILITY SERVICES (E.G. ROOF LEADER, SANITARY, WATER, ELECTRIC, GAS, CABLE TV, AND TELEPHONE). THE CONTRACTOR SHALL THEN DOCUMENT ANY UTILITY NOT SHOWN OR DIFFERING FROM THE CONSTRUCTION PLANS, AND PROVIDE THE INFORMATION TO THE OWNER SHOWING LOCATIONS WITH MEASUREMENTS TO REFERENCE POINTS. ANY RESULTING UTILITY CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER AND DESIGN ENGINEER.
- THE CONTRACTOR SHALL REMOVE ALL SURPLUS, DEMOLISHED AND WASTE MATERIALS INCLUDING TREES, STUMPS AND BRUSH FROM THE PROJECT AND DISPOSE OF OFF-SITE. IN NO INSTANCE SHALL MATERIAL BE BURIED ON-SITE.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL MATERIAL DEEMED UNSUITABLE FOR EMBANKMENT PER THE SPECIFICATIONS AND BE DISPOSED OF OFF-SITE.
- ANY UNKNOWN CONCRETE FLOOR SLAB DISCOVERED BELOW GRADE SHALL BE REMOVED IN ITS ENTIRETY OR BROKEN UP TO ALLOW PERCOLATION OF GROUND WATER, AT THE DIRECTION OF THE DESIGN ENGINEER.
- THE OWNER SHALL HAVE FIRST RIGHT OF SALVAGE FOR ALL PROPOSED DEMOLITION ITEMS SUCH AS SIGNS, GATES, PARKING BLOCKS, BENCHES, TABLES, BRICKS, PAVERS, ETC. ALL OTHER DEMOLISHED ITEMS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
- ANY UTILITY TO BE REMOVED, RELOCATED, SHUT-OFF, AND/OR RECONNECTED BY THE RESPECTIVE UTILITY COMPANY SHALL BE COORDINATED BY THE CONTRACTOR.
- ALL EXCAVATIONS RESULTING FROM UTILITY REMOVALS SHALL BE BACKFILLED WITH PREMIUM GRANULAR MATERIAL MEETING ODOT ITEM 304.
- EXISTING ASPHALT AND CONCRETE PAVEMENT AND SIDEWALK TO BE REMOVED SHALL BE SAW CUT IN A NEAT AND STRAIGHT LINE PRIOR TO EXCAVATION AND REMOVED FULL DEPTH AT NEAREST EXISTING JOINTS OR AT LIMITS AS SHOWN ON THE CONSTRUCTION PLANS. ADDITIONAL SAW CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE PAVEMENT TO REMAIN. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL SAW CUTS, REMOVE THE DAMAGED AREAS AND REPAIR AS NECESSARY WITH NO ADDITIONAL COMPENSATION.

LAYOUT NOTES

- IF CONCRETE TESTING REQUIREMENTS NOT PROVIDED, THESE MINIMUM GUIDELINES SHALL BE FOLLOWED:
 - SAMPLING FRESH CONCRETE PER ASTM C-172, EXCEPT MODIFIED FOR SLUMP TO COMPLY WITH ASTM C-94.
 - SLUMP PER ASTM C-143: 1 TEST AT POINT OF DISCHARGE FOR EACH DAY'S POUR OF EACH CONCRETE CLASS AND ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY SEEMS TO HAVE CHANGED.
 - AIR CONTENT PER ASTM C-231 PRESSURE METHOD FOR NORMAL WEIGHT CONCRETE: MINIMUM 1 FOR EACH POUR OF EACH TYPE OF AIR-ENTRAINED CONCRETE, AND EACH TIME COMPRESSION TEST SPECIMENS ARE MADE.
 - COMPRESSION TEST SPECIMEN PER ASTM C-31: 1 SET OF 4 STANDARD CYLINDERS FOR EACH COMPRESSIVE STRENGTH TEST. 1 SET FOR EACH DAY'S POUR OF EACH CONCRETE CLASS EXCEEDING 5 CU.YD. PLUS ADDITIONAL SETS FOR EACH 50 CU.YD. OVER THE FIRST 25 CU.YD. OF EACH CONCRETE CLASS PLACED THE SAME DAY.
 - COMPRESSION STRENGTH TEST PER ASTM C-39: 1 TEST AT 7 DAYS AND 2 TESTS AT 28 DAYS.
- THE CONTRACTOR SHALL INSTALL THE SPECIFIC TYPE OF WALK, CURB OR RAMP SHOWN ON THE PLANS. INSTALLATION OF THE INCORRECT TYPE MAY REQUIRE REPLACEMENT BY THE CONTRACTOR WITH NO ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL HAND FORM DROP CURBS FOR NEW APRONS AND HANDICAP RAMPS AT THE TIME OF THE POUR.
- ALL PAINTED AREAS SHALL RECEIVE (2) 15 MIL COATS OF PAINT WITH A MINIMUM 4 OF WEEKS BETWEEN FIRST AND SECOND COATS, BUT NO LONGER THAN 12 WEEKS.

UTILITY NOTES

- THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJOINING PROPERTIES WITHOUT INTERRUPTION. IF SERVICE IS INTERRUPTED, THE CONTRACTOR SHALL IMMEDIATELY RECTIFY THE SITUATION WITH NO ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL PROTECT, SUPPORT AND SHORE UP ANY UTILITY ENCOUNTERED AND COORDINATE ALL WORK TO BE PERFORMED WITH EACH RESPECTIVE UTILITY COMPANY, INCLUDING WORK BEING PERFORMED DIRECTLY BY THE UTILITY COMPANIES, FOR MAIN OR SERVICE CONNECTIONS, DISCONNECTIONS, RELOCATIONS, DEMOLITION AND INSPECTIONS. THE CONTRACTOR SHALL SECURE AND PAY FOR ANY PERMITS, FEES AND UTILITY COMPANY CHARGES.
- THE CONTRACTOR SHALL INSTALL PROXIMITY WARNING DEVICES ON ALL EXISTING, TEMPORARY AND PERMANENT OVERHEAD WIRES LOCATED AT THE SITE PRIOR TO START OF ANY WORK AND REMOVE UPON COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE NECESSARY LEVELS OF PROTECTION AND SAFEGUARDING OF OPEN TRENCHES WHEN WORK IS ACTIVE, COMPLETED AT END OF DAY OR SUSPENDED. THIS INCLUDES TRENCH PROTECTION SUCH AS TRENCH BOXES, WOOD SHEETING AND BRACING, OR ANY OTHER METHOD DETERMINED BY THE CONTRACTOR TO MAINTAIN A SAFE WORKING ENVIRONMENT. ALL EXCAVATIONS SHALL COMPLY WITH APPLICABLE LAWS AND REGULATIONS.
- WHERE A NEW CONDUIT IS TO BE CONNECTED TO OR CROSS OVER OR UNDER AN EXISTING UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING UTILITY BOTH AS TO LINE AND GRADE BEFORE BEGINNING TO LAY THE NEW CONDUIT.
- THE CONTRACTOR SHALL CLEAN ALL NEW STORM SEWERS AND VACUUM CLEAN ALL MANHOLES AND CATCH BASINS WITHIN THE PROJECT LIMITS BEFORE ACCEPTANCE.
- ALL STORM SEWER JOINTS AND PIPES SHALL BE WATERTIGHT.
- KNOCKOUT TYPE CONCRETE CATCH BASINS ARE NOT ALLOWED. CONCRETE CATCH BASINS SHALL BE POURED WITH SPECIFIC HOLE LOCATIONS AS PER PLAN.
- A STORM SERVICE LATERAL CONNECTION TO A NEW OR EXISTING STORM MAIN SEWER SHALL USE A BOOT INSTALLED IN A CROWN HOLE IN THE STORM SEWER.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- STORM SEWERS AND SERVICE LATERALS SHALL BE AS FOLLOWS OR PER PLAN:
 - PVC SDR 26 OR 35 (4" THRU 15" DIA.) SHALL BE INTEGRAL BELL AND SPIGOT TYPE CONFORMING TO ASTM D-3034, GASKET MATERIAL TO ASTM F-477, JOINTS TO ASTM D-3212 AND BEDDING CLASSIFICATION PER ASTM D-2321.
 - HDPE SHALL BE SMOOTH INTERIOR, CORRUGATED EXTERIOR CONFORMING TO ASHTO M-252 TYPE S AND M-294 TYPE S, BELL AND SPIGOT JOINT TO ASTM F-2848, GASKET MATERIAL TO ASTM F-477, FITTINGS TO ASTM F-2306, AND BEDDING CLASSIFICATION PER ASTM D-2321.

GRADING NOTES

- ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS AND MATERIALS OF CONSTRUCTION. THE DESIGN ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUITABILITY OF MATERIAL UNDERLYING THE PROJECT SITE. THIS COULD INCLUDE, BUT NOT BE LIMITED TO, UNSUITABLE OR UNSTABLE SOIL/SUBSURFACE CONDITIONS, ROCK, WATER (PERCHED OR FREE), SPRINGS, OBSTRUCTIONS, ETC.
- THE CONTRACTOR SHALL PROVIDE FINAL GRADING TO WITHIN 1" OF GRADES SHOWN ON THE GRADING PLANS.
- THE CONTRACTOR SHALL PROTECT STRUCTURES, UTILITIES, PAVEMENTS AND WALKS TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING OR WASHOUT CREATED BY EARTH MOVING OPERATIONS.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED TO WHATEVER DEPTH ENCOUNTERED, AND IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL.
- SOIL SHALL NOT BE STOCKPILED NEAR THE EDGE OF EXCAVATIONS OR WITHIN DRIP LINES OF TREES TO REMAIN.
- EXCESS MATERIAL GENERATED FROM TRENCH EXCAVATIONS SHALL BE INCORPORATED IN EMBANKMENT CONSTRUCTION. EXCESS SOIL UNABLE TO BE PLACED ON-SITE OR DEEMED UNSUITABLE FOR EMBANKMENT SHALL BE DISPOSED OFF-SITE.
- THE CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS IN THE GEOTECHNICAL ENGINEERING EXPLORATION REPORT AND THESE ADDITIONAL GUIDELINES:
 - STRUCTURAL FILL SHALL BE PLACED UNDER AREAS OF PAVEMENTS, WALKS, STEPS, RAMPS, BUILDING SLAB AND FOOTING, STRUCTURE, AND 45° ANGLE OF INFLUENCE.
 - FILL SHALL BE WETTED OR DRIED TO NEAR ITS OPTIMUM MOISTURE CONTENT, PLACED IN LIFTS AND COMPACTED TO A MINIMUM PERCENT COMPACTION, ALL UNDER THE OBSERVATION AND TESTING OF A TESTING AGENCY.
 - SOIL OBTAINED ON-SITE MAY BE USED AS FILL MATERIAL IF FREE OF ORGANIC MATTER, DEBRIS, EXCESSIVE MOISTURE AND ROCK FRAGMENTS 6" AND LARGER.
 - NO SLAG, RIVER GRAVEL, SANDSTONE, FOUNDRY SAND, RECYCLED PORTLAND CEMENT CONCRETE OR RECLAIMED ASPHALT CONCRETE PAVEMENT SHALL BE USED AS FILL OR EMBANKMENT.
 - UNSUITABLE MATERIAL ENCOUNTERED DURING INSTALLATION OF IMPROVEMENTS SHALL BE UNDERCUT AND REPLACED WITH COMPACTED FILL OR STABILIZED IN-PLACE UTILIZING CONVENTIONAL MEASURES SUCH AS DISKING, AERATION OR RECOMPACTION. OTHER MEANS OF STABILIZATION SHALL BE AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER.
- IF EARTHWORK TESTING REQUIREMENTS NOT PROVIDED, THESE MINIMUM GUIDELINES SHALL BE FOLLOWED:
 - SPECIAL BACKFILL MATERIAL SIEVE ANALYSIS PER ASTM C-136: 1 TEST PER SOURCE.
 - ON-SITE TRENCH BACKFILL ANALYSIS PER ASTM D-2487: AS DIRECTED BY ENGINEER.
 - PIPE BEDDING AND COVER SIEVE ANALYSIS PER ASTM C-136: 1 TEST PER SOURCE.
 - DRAINAGE FILL SIEVE ANALYSIS PER ASTM C-136: 1 TEST PER SOURCE.
 - SOIL COMPACTION TESTING PER ASTM D-698.
 - EMBANKMENT: 1 TEST PER 5,000 S.F. OF EACH LIFT.
 - TRENCH BACKFILL: 1 TEST PER 50 L.F. OF EACH LIFT.
 - SUBGRADE AND/OR SUBBASE: 1 TEST PER 200 L.F.
 - BACKFILL COMPACTION PER ASTM D-4253 AND D-4254: 1 TEST PER 50 L.F. OF EACH LIFT.
 - LOW STRENGTH MORTAR TESTING PER ASTM D-4832.
- EXPOSED PAVEMENT SUBGRADE AREAS SHALL BE MAINTAINED IN CONDITIONS TO PREVENT PONDING OF WATER AFTER RAINS.
- ALL EXISTING AND PROPOSED MANHOLE COVERS, SHALL BE FLUSH WITH THE PAVEMENT SURFACE.
- FROST SLABS, LANDINGS, DRIVEWAYS AND SIDEWALKS THAT ABUT BUILDINGS SHALL SLOPE AWAY FROM THE BUILDING AT 1.00% MINIMUM, OR AS SHOWN ON THE GRADING PLANS..
- THE CONTRACTOR SHALL RECONSTRUCT ANY SUBGRADE DAMAGED BY FREEZING TEMPERATURES, FROST, RAIN, ACCUMULATED WATER OR CONSTRUCTION ACTIVITIES WITHOUT ADDITIONAL COMPENSATION.

NO	REVISION	DATE

CLEVELAND CLINIC REHABILITATION HOSPITAL

SELECT MEDICAL

PARKING LOT EXPANSION PROJECT

BEACHWOOD, CUYAHOGA COUNTY, OHIO

ISSUED FOR: PERMIT

ISSUE DATE: 03/24/26

SCALE: AS SHOWN

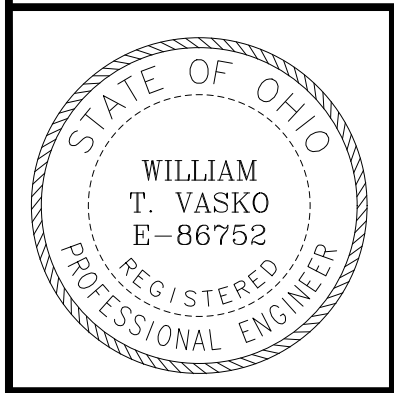
DESIGNED BY: WTV

DRAWN BY: WTV

CHECKED BY: LCH

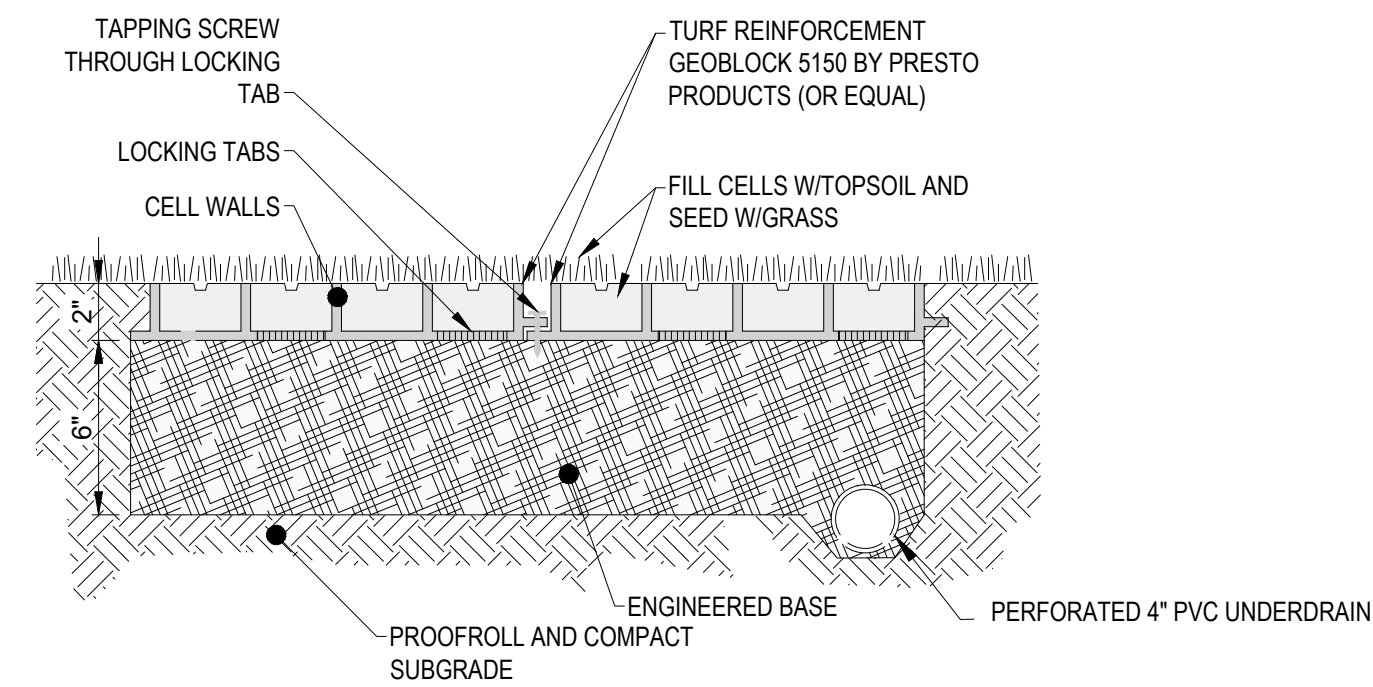
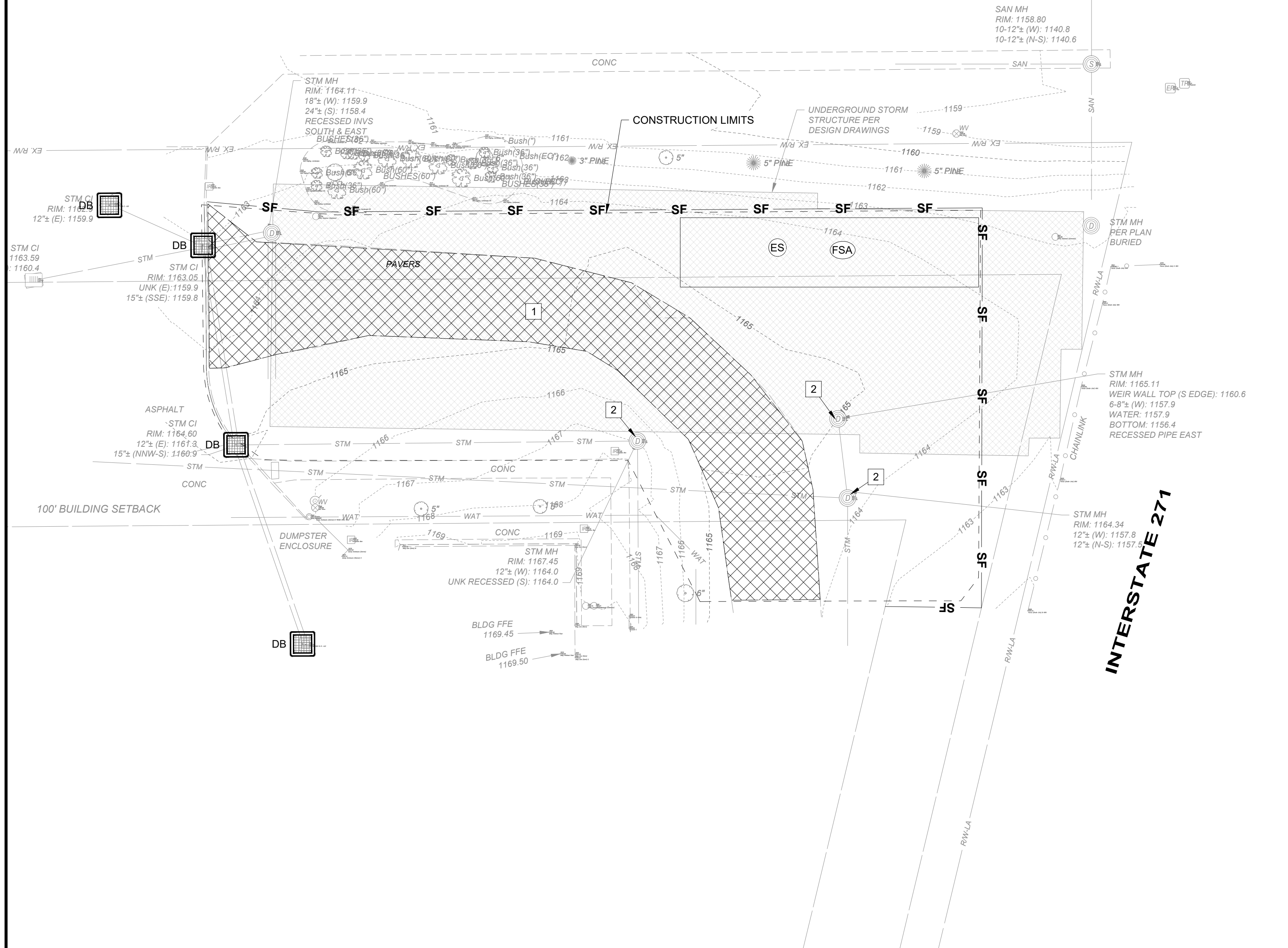
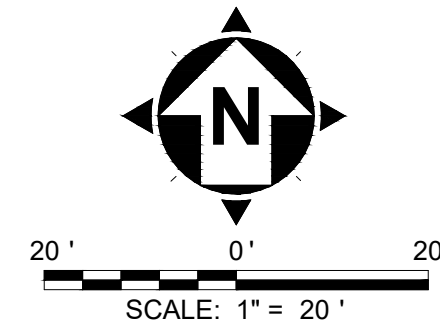
GENERAL NOTES

PROJECT NO.	
39364	
DISCIPLINE	
CIVIL	
SHEET NAME	
GEN NOTES	
SHEET	OF
2	13



SOUTH WOODLAND ROAD 100'
VOL. 102 PG. 20 CUY. CO. MAPS

SOUTH WOODLAND ROAD



- NOTES:
- ENGINEERED BASE SHALL BE MIXTURE OF 75% #57 AGGREGATE AND 25% TOPSOIL. BLEND PRIOR TO PLACEMENT AND COMPACT TO 95% MAX. DENSITY OF STANDARD PROCTOR.
 - INSTALL 4" UNDERDRAIN AT BOTTOM OF THE BASE ON THE LOWER ELEVATION SIDE OF THE STONE BASE. DAYLIGHT AT LOW POINTS.

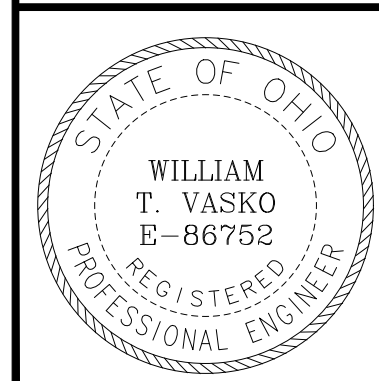
**TURF REINFORCEMENT DETAIL
(FOR REFERENCE ONLY)**
(FOR FIRE ACCESS ROAD)

SHEET LEGEND/CODED NOTED

- 1 REMOVE TURF REINFORCEMENT ROAD (SEE DETAIL, THIS SHEET)
- 2 ADJUST CASTING TO GRADE (SEE GRADING PLAN)
- 650 CONTOUR - MAJOR
- 649 CONTOUR - MINOR
- CW CONCRETE WASHOUT
- ES EQUIPMENT STAGING
- FSA FUEL STORAGE & VEHICLE FUELING AREA
- SF SILT FENCE
- DB STORM INLET PROTECTION; DANDY BAG
- PS PERMANENT SEEDING

SHEET NOTES

- GRAPHICAL SCREENING OR SHADING IS USED TO DE-EMPHASIZE EXISTING ITEMS AND HIGHLIGHT SELECTED TRADE WORK.
- ANY ITEMS NOT MARKED TO BE REMOVED SHALL REMAIN IN PLACE UNDISTURBED AND BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.



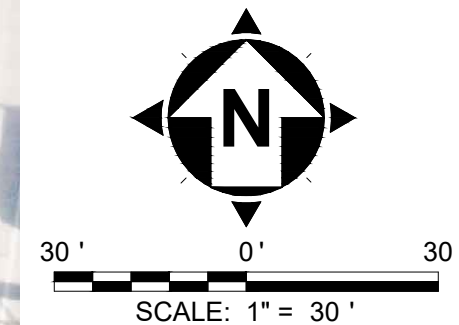
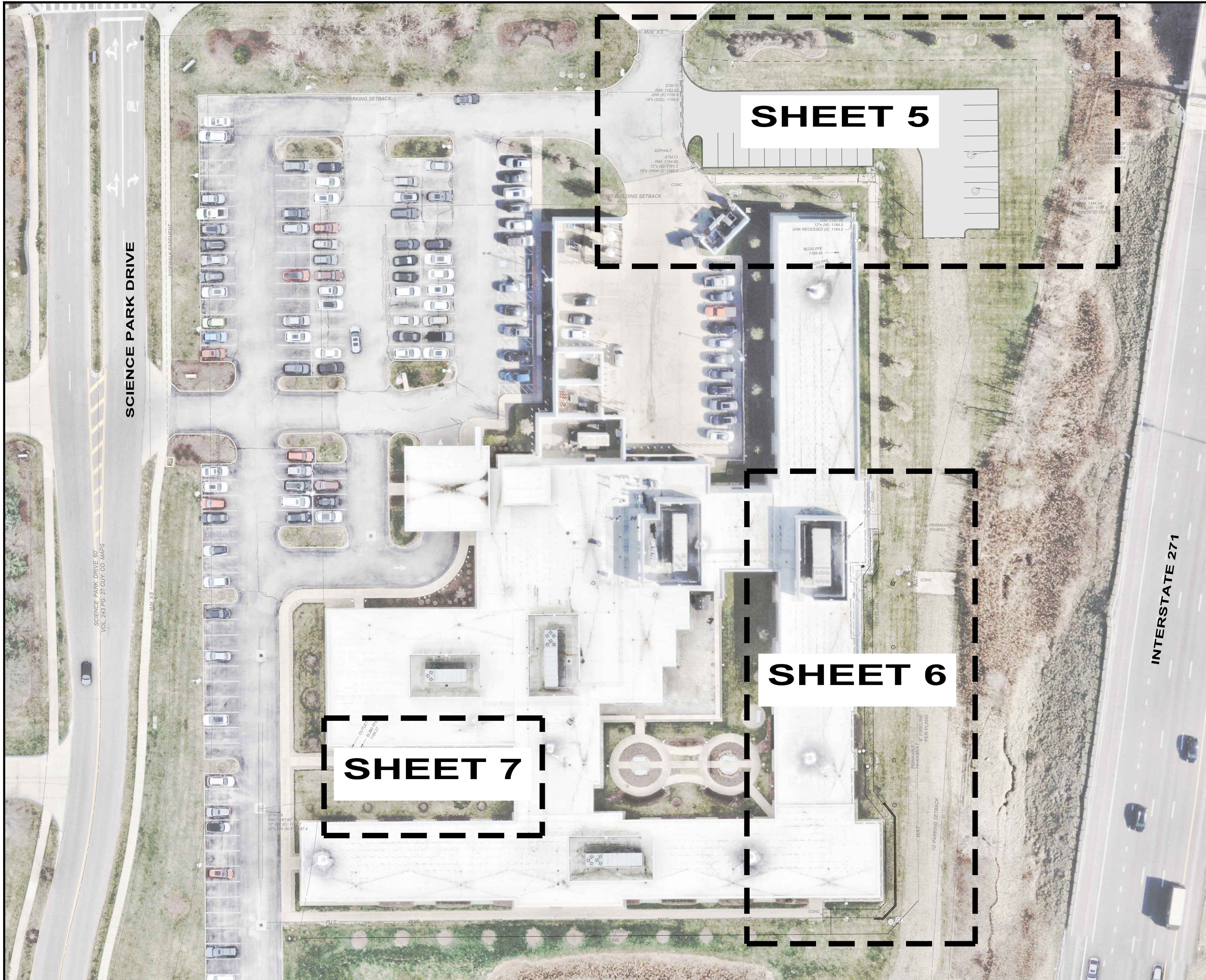
NO	REVISION	DATE

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BEACHWOOD, CUYAHOGA COUNTY, OHIO

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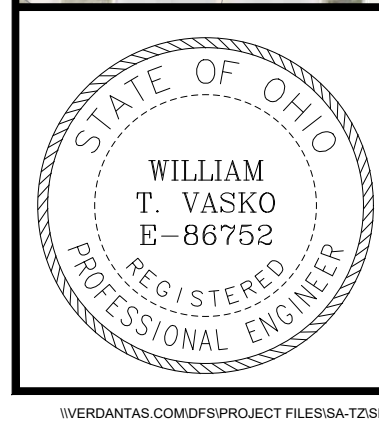
**DEMOLITION AND EROSION AND
SEDIMENT CONTROL PLAN**

PROJECT NO. 39364	
DISCIPLINE CIVIL	
SHEET NAME DEMO	
SHEET 3	OF 13



LEGEND

X	NUMBER OF PARKING SPACES
①	PROPOSED ASPHALT PAVEMENT (SEE SITE DETAILS)
②	PROPOSED CONCRETE SIDEWALK (SEE SITE DETAILS)
③	4" WHITE PARKING STALL (ODOT ITEM 642)
④	TAPER CURB FROM 6" TO 0" IN 6"
⑤	6" CONCRETE CURB
⑥	REMOVE EX. TREE
⑦	MALUS SPRING SNOW - SPRING SNOW CRABAPPLE, SIZE 2" CALIPER (SEE DETAILS)
⑧	REMOVE SECTION OF EX. FENCE



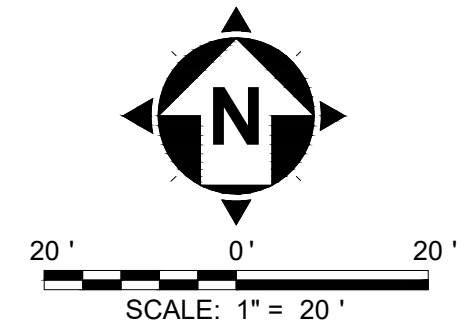
NO	REVISION	DATE

CLEVELAND CLINIC REHABILITATION HOSPITAL
SELECT MEDICAL
PARKING LOT EXPANSION PROJECT
 BEACHWOOD, CUYAHOGA COUNTY, OHIO

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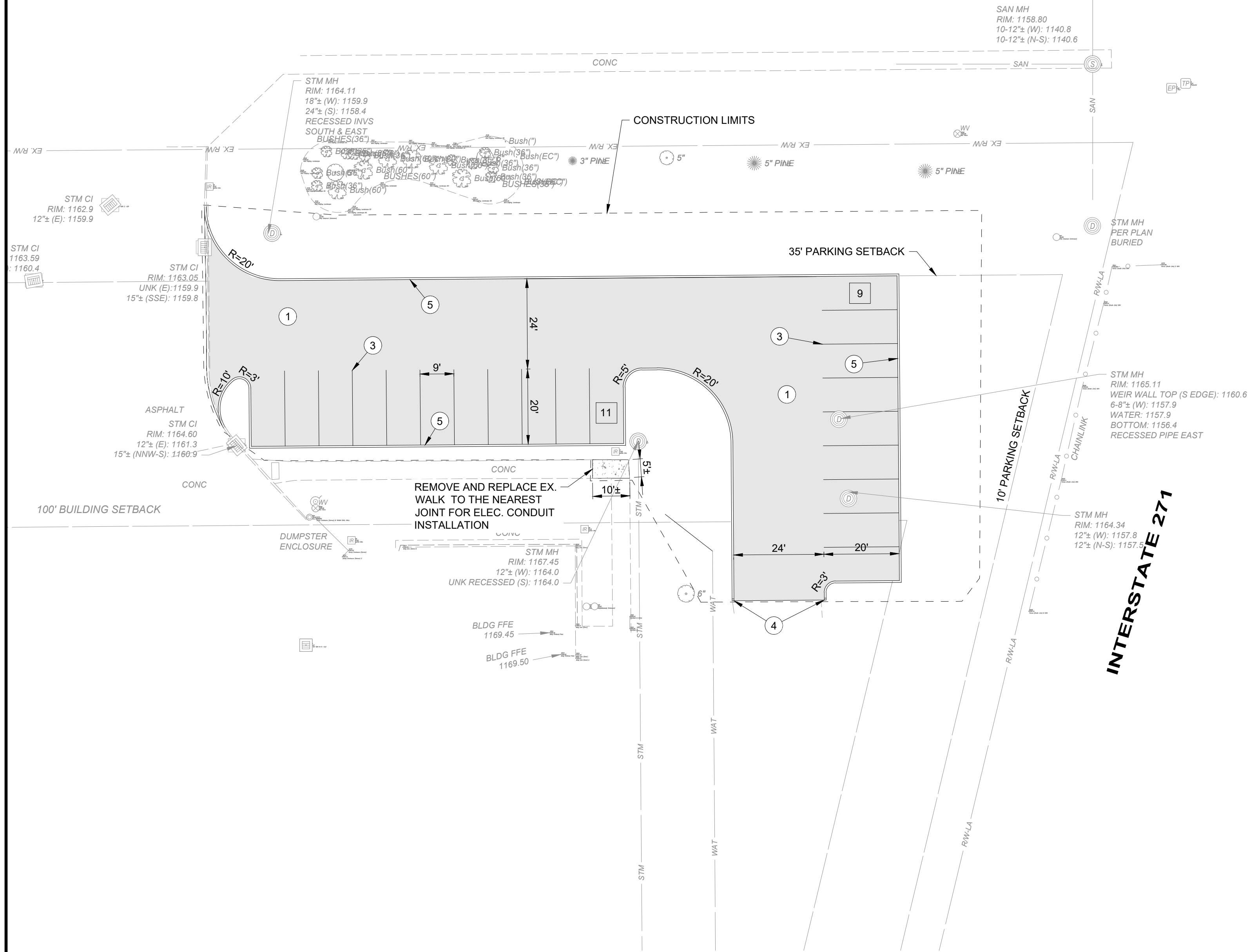
VICINITY PLAN

PROJECT NO.	
39364	
DISCIPLINE	
CIVIL	
SHEET NAME	
VICINITY MAP	
SHEET	OF
4	13



SOUTH WOODLAND ROAD 100'
VOL. 102 PG. 20 CUY. CO. MAPS

SOUTH WOODLAND ROAD



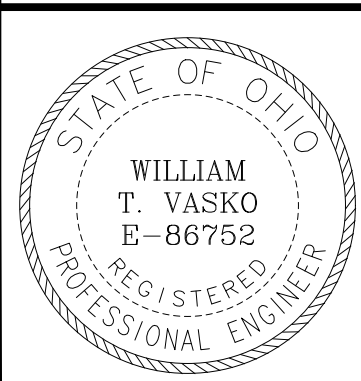
LEGEND

- X NUMBER OF PARKING SPACES
- 1 PROPOSED ASPHALT PAVEMENT (SEE SITE DETAILS)
- 2 PROPOSED CONCRETE SIDEWALK (SEE SITE DETAILS)
- 3 4" WHITE PARKING STALL (ODOT ITEM 642)
- 4 TAPER CURB FROM 6" TO 0" IN 6"
- 5 6" CONCRETE CURB

SHEET NOTES

1. DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, AND EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
2. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES IN WRITING AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO CONFIRM THE LOCATIONS OF ANY EXISTING BURIED UTILITIES.
3. STRIPING SHALL BE APPLIED TO ASPHALT SURFACES PER ODOT ITEMS 642 & 645.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY.
5. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
6. CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH ODOT ITEM 409 NEW ASPHALT JOINS EXISTING ASPHALT SPECIFICATION.
7. CONTRACTOR SHALL REPAIR, RESURFACE, OR RECONSTRUCT ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL PLACE INLET PROTECTION AND EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PROJECT AREA AS REQUIRED. LOCATIONS OF DRAINAGE INLETS NEEDING INLET PROTECTION SHALL BE FIELD COORDINATED.

INTERSTATE 271



NO	REVISION	DATE

CLEVELAND CLINIC REHABILITATION HOSPITAL
SELECT MEDICAL
PARKING LOT EXPANSION PROJECT
BEACHWOOD, CUYAHOGA COUNTY, OHIO

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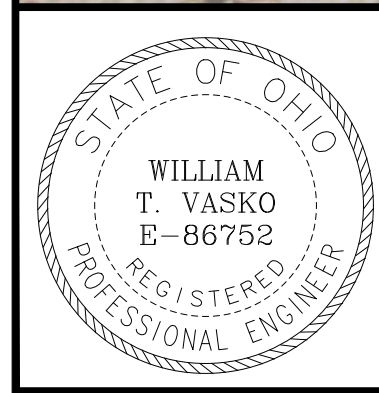
PARKING LOT SITE PLAN

PROJECT NO.		39364
DISCIPLINE		CIVIL
SHEET NAME		SITE PLAN
SHEET	OF	
5	13	



LEGEND

X	NUMBER OF PARKING SPACES
1	PROPOSED ASPHALT PAVEMENT (SEE SITE DETAILS)
2	PROPOSED CONCRETE SIDEWALK (SEE SITE DETAILS)
3	4" WHITE PARKING STALL (ODOT ITEM 642)
4	TAPER CURB FROM 6" TO 0" IN 6"
5	6" CONCRETE CURB
6	REMOVE EX. TREE
7	AMELANCHIER x GRANDIFLORA AUTUMN BRILLIANCE - AUTUMN BRILLIANCE SERVICEBERRY, SIZE 2.5" CALIPER (SEE DETAILS)
8	REMOVE SECTION OF EX. FENCE



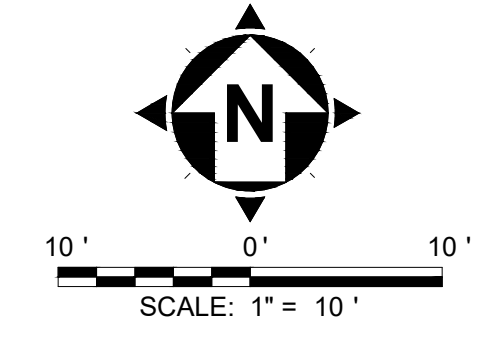
NO	REVISION	DATE

CLEVELAND CLINIC REHABILITATION HOSPITAL
SELECT MEDICAL
PARKING LOT EXPANSION PROJECT
 BEACHWOOD, CUYAHOGA COUNTY, OHIO

ISSUED FOR: PERMIT
 ISSUE DATE: 03/24/26
 SCALE: AS SHOWN
 DESIGNED BY: WTV
 DRAWN BY: WTV
 CHECKED BY: LCH

ADDITIONAL SIDEWALK
SITE PLAN

PROJECT NO. 39364	
DISCIPLINE CIVIL	
SHEET NAME SW - SITE PLAN	
SHEET 6	OF 13

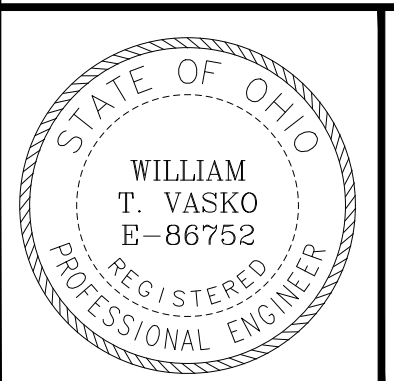
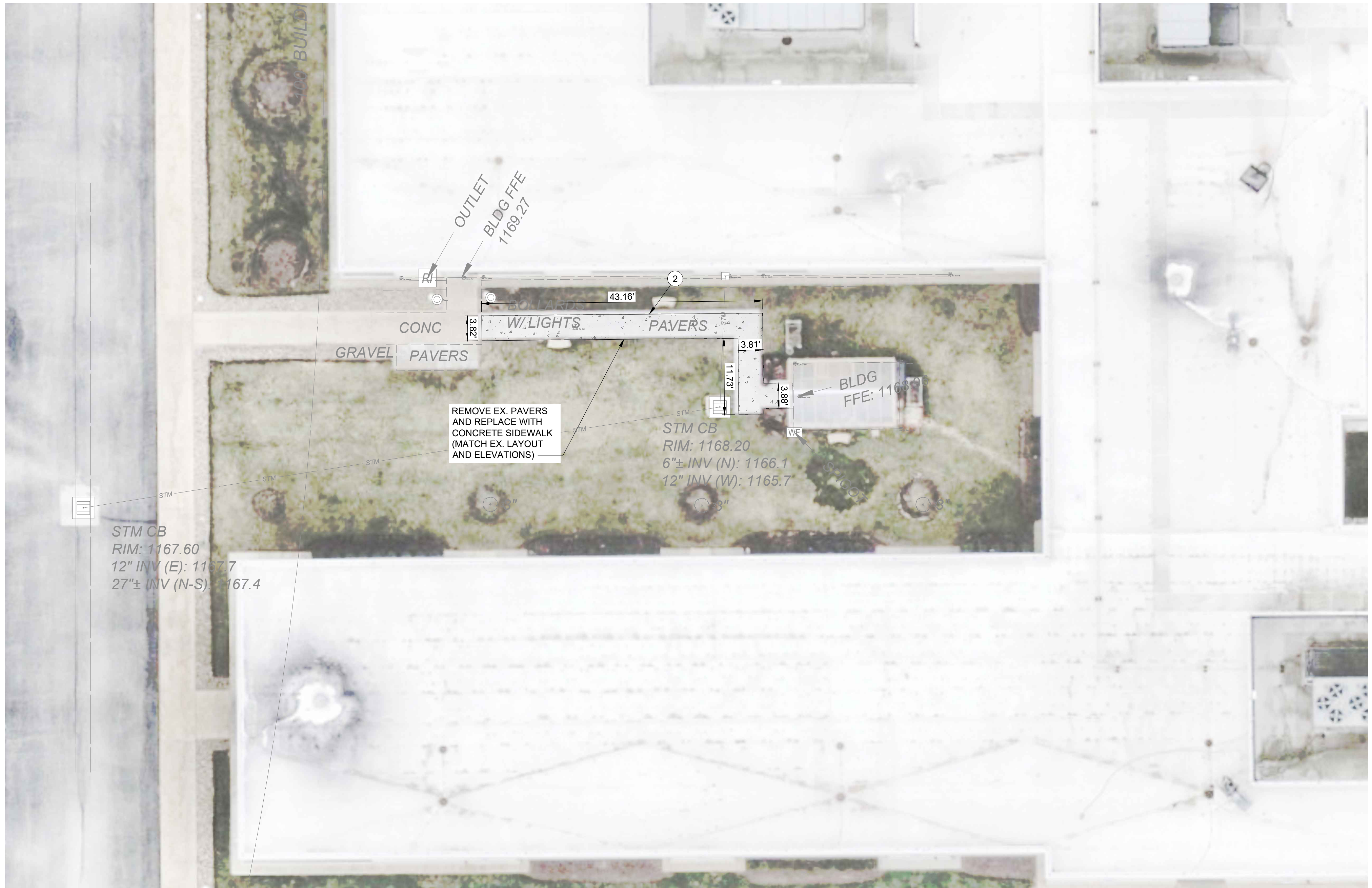


LEGEND

- X NUMBER OF PARKING SPACES
- ① PROPOSED ASPHALT PAVEMENT (SEE SITE DETAILS)
- ② PROPOSED CONCRETE SIDEWALK (SEE SITE DETAILS)
- ③ 4" WHITE PARKING STALL (ODOT ITEM 642)
- ④ TAPER CURB FROM 6" TO 0" IN 6"
- ⑤ 6" CONCRETE CURB
- ⑥ REMOVE EX. TREE
- ⑦ PR. TREE (SEE DETAILS)
- ⑧ REMOVE SECTION OF EX. FENCE

SHEET NOTES

1. DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, AND EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
2. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES IN WRITING AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO CONFIRM THE LOCATIONS OF ANY EXISTING BURIED UTILITIES.
3. STRIPING SHALL BE APPLIED TO ASPHALT SURFACES PER ODOT ITEMS 642 & 645.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY.
5. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
6. CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH ODOT ITEM 409 NEW ASPHALT JOINS EXISTING ASPHALT SPECIFICATION.
7. CONTRACTOR SHALL REPAIR, RESURFACE, OR RECONSTRUCT ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL PLACE INLET PROTECTION AND EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PROJECT AREA AS REQUIRED. LOCATIONS OF DRAINAGE INLETS NEEDING INLET PROTECTION SHALL BE FIELD COORDINATED.



NO	REVISION	DATE

**CLEVELAND CLINIC REHABILITATION HOSPITAL
SELECT MEDICAL
PARKING LOT EXPANSION PROJECT
BEACHWOOD, CUYAHOGA COUNTY, OHIO**

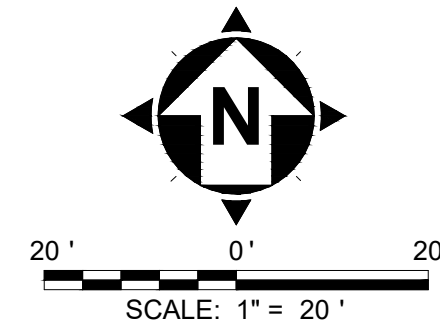
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ISSUE DATE:	03/24/26
SCALE:	AS SHOWN
DESIGNED BY:	WTV
DRAWN BY:	WTV
CHECKED BY:	LCH

**ADDITIONAL SIDEWALK
SITE PLAN**

PROJECT NO.	39364
DISCIPLINE	CIVIL
SHEET NAME	SW - SITE PLAN
SHEET	2
OF	13

SOUTH WOODLAND ROAD 100'
VOL. 102 PG. 20 CUY. CO. MAPS

SOUTH WOODLAND ROAD

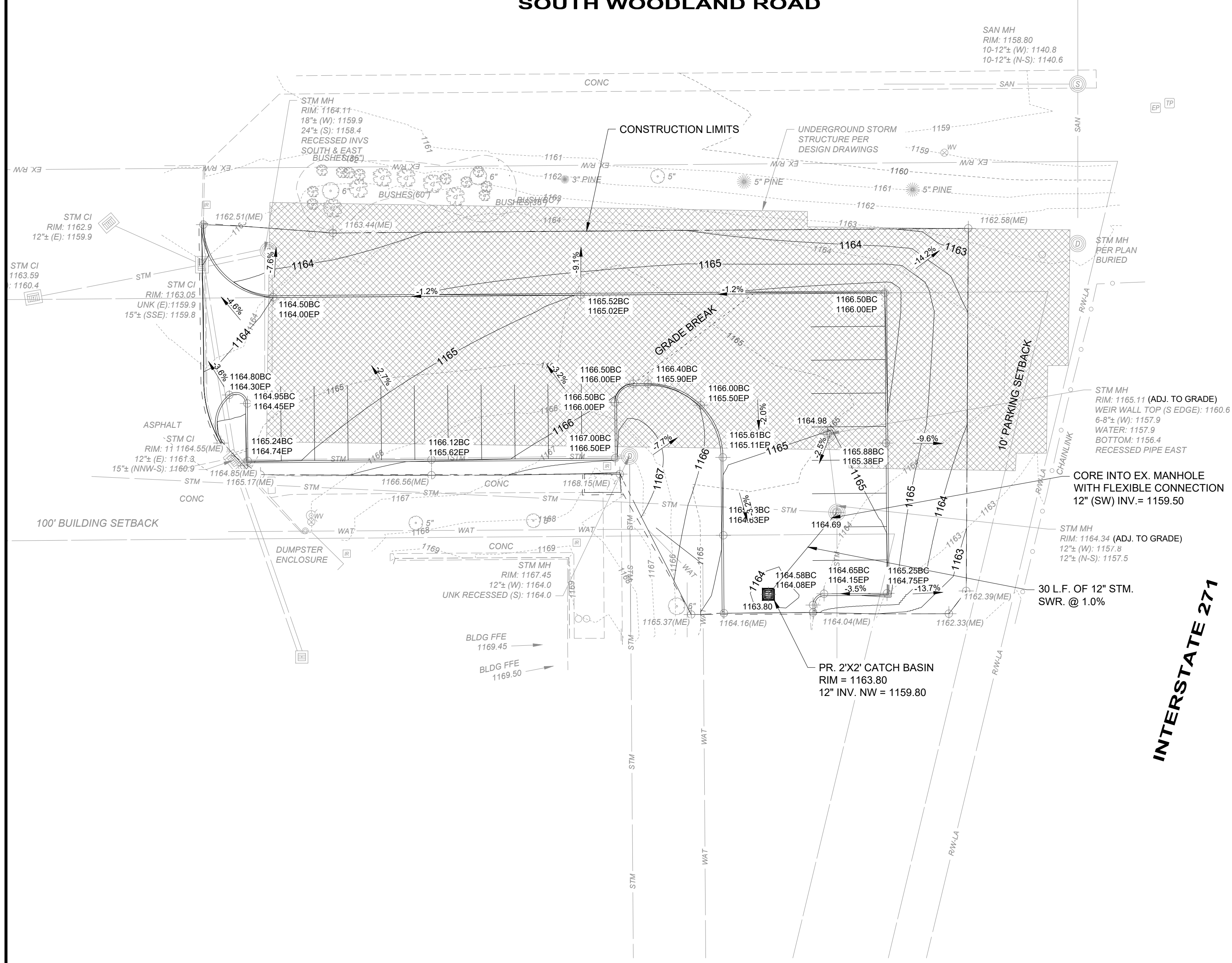


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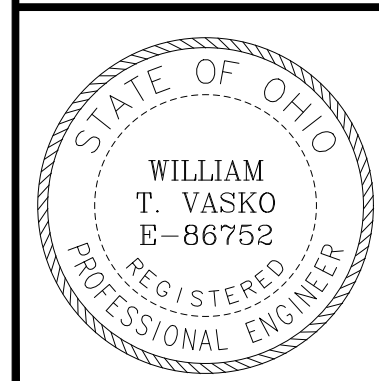
- 1050.00 PROPOSED ELEVATION
- 1050.00(ME) MATCH EXISTING ELEVATION
- 1050.00BC 1049.50EP BACK OF CURB ELEVATION
EDGE OF PAVEMENT ELEVATION
- 1.0% PROPOSED SLOPE
- 650 CONTOUR - MAJOR
- 649 CONTOUR - MINOR
- 650 CONTOUR - MAJOR
- 649 CONTOUR - MINOR
- EX. UNDERGROUND STORMWATER DETENTION SYSTEM

SHEET NOTES

1. GRAPHICAL SCREENING AND SHADING IS USED TO DE-EMPHASIZE EXISTING ITEMS AND SOME NEW IMPROVEMENTS TO HIGHLIGHT SELECTED TRADE WORK.
2. PROPOSED DEMOLITION PLAN ITEMS ARE NOT SHOWN FOR CLARITY PURPOSES.
3. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
4. THE CONTRACTOR SHALL PROTECT EXISTING TREES AND PLANTS NOT DESIGNATED FOR REMOVAL. ANY TREE OR PLANT, INCLUDING ROOTS, DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR WITH LIKE SPECIES AND SIZE WITH NO ADDITIONAL COMPENSATION.



INTERSTATE 271



NO	REVISION	DATE

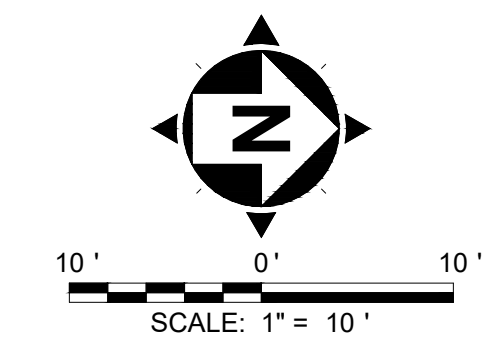
CLEVELAND CLINIC REHABILITATION HOSPITAL
SELECT MEDICAL
PARKING LOT EXPANSION PROJECT

BEACHWOOD, CUYAHOGA COUNTY, OHIO

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PARKING LOT - GRADING AND DRAINAGE PLAN

PROJECT NO.		39364
DISCIPLINE		CIVIL
SHEET NAME		GRD PLAN
SHEET	OF	
8	13	

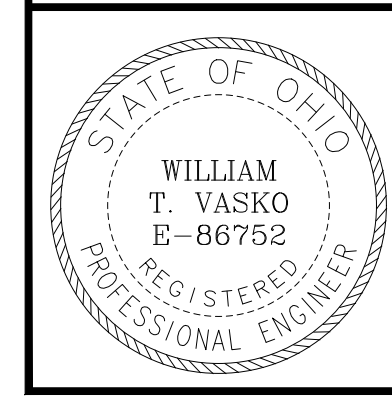
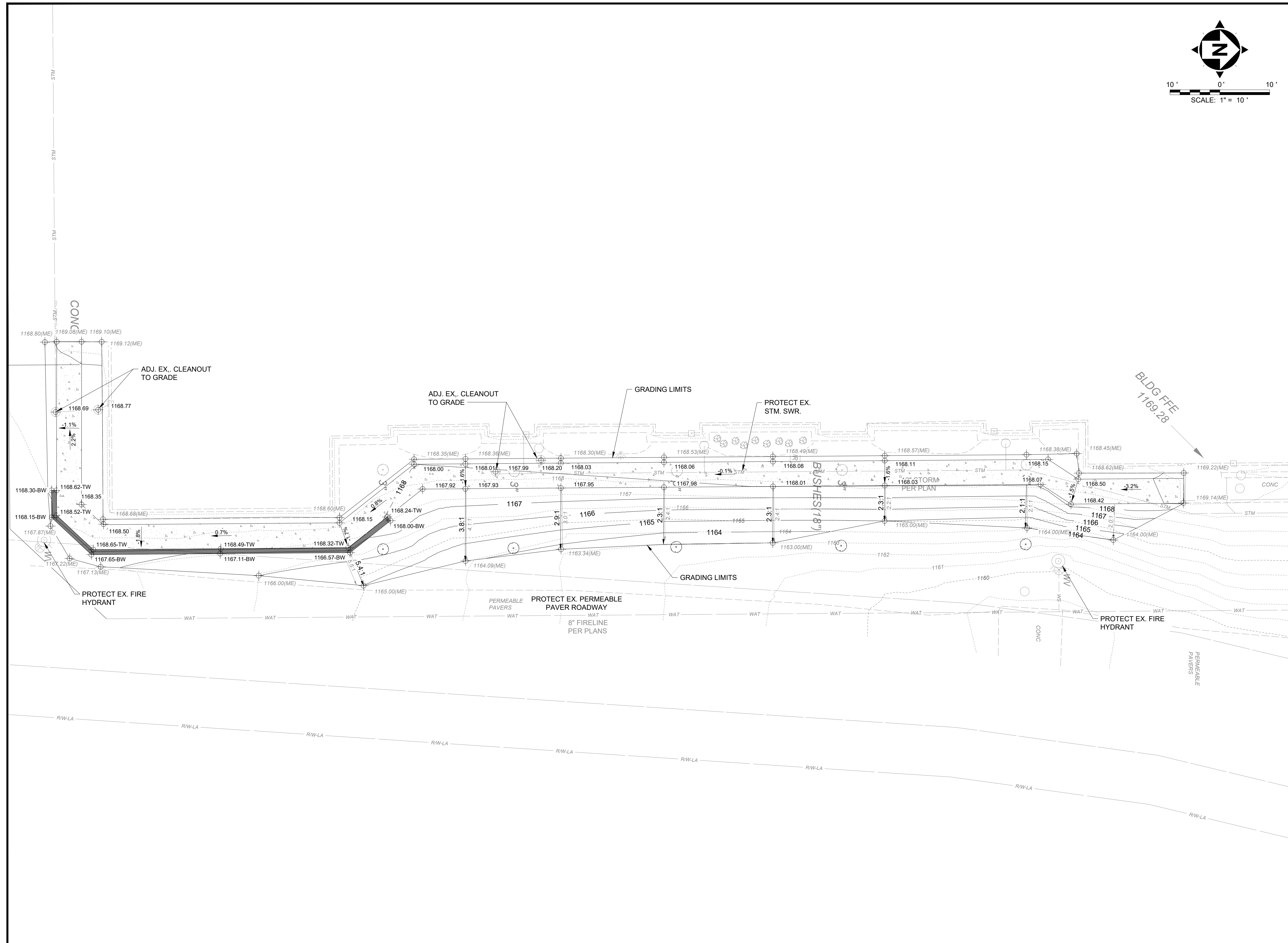


LEGEND

- 1050.00 PROPOSED ELEVATION
- 1050.00(ME) MATCH EXISTING ELEVATION
- 1050.00-TW TOP OF WALL ELEVATION
- 1049.50-BW BOTTOM OF WALL ELEVATION
- 1.0% PROPOSED SLOPE
- 650 CONTOUR - MAJOR
- 649 CONTOUR - MINOR
- 650 CONTOUR - MAJOR
- 649 CONTOUR - MINOR

SHEET NOTES

1. GRAPHICAL SCREENING AND SHADING IS USED TO DE-EMPHASIZE EXISTING ITEMS AND SOME NEW IMPROVEMENTS TO HIGHLIGHT SELECTED TRADE WORK.
2. PROPOSED DEMOLITION PLAN ITEMS ARE NOT SHOWN FOR CLARITY PURPOSES.
3. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
4. THE CONTRACTOR SHALL PROTECT EXISTING TREES AND PLANTS NOT DESIGNATED FOR REMOVAL. ANY TREE OR PLANT, INCLUDING ROOTS, DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR WITH LIKE SPECIES AND SIZE WITH NO ADDITIONAL COMPENSATION.
5. CONTRACTOR SHALL COORDINATE WITH OWNER REGARDING DISTURBANCES TO THE IRRIGATION LINES.



NO	REVISION	DATE

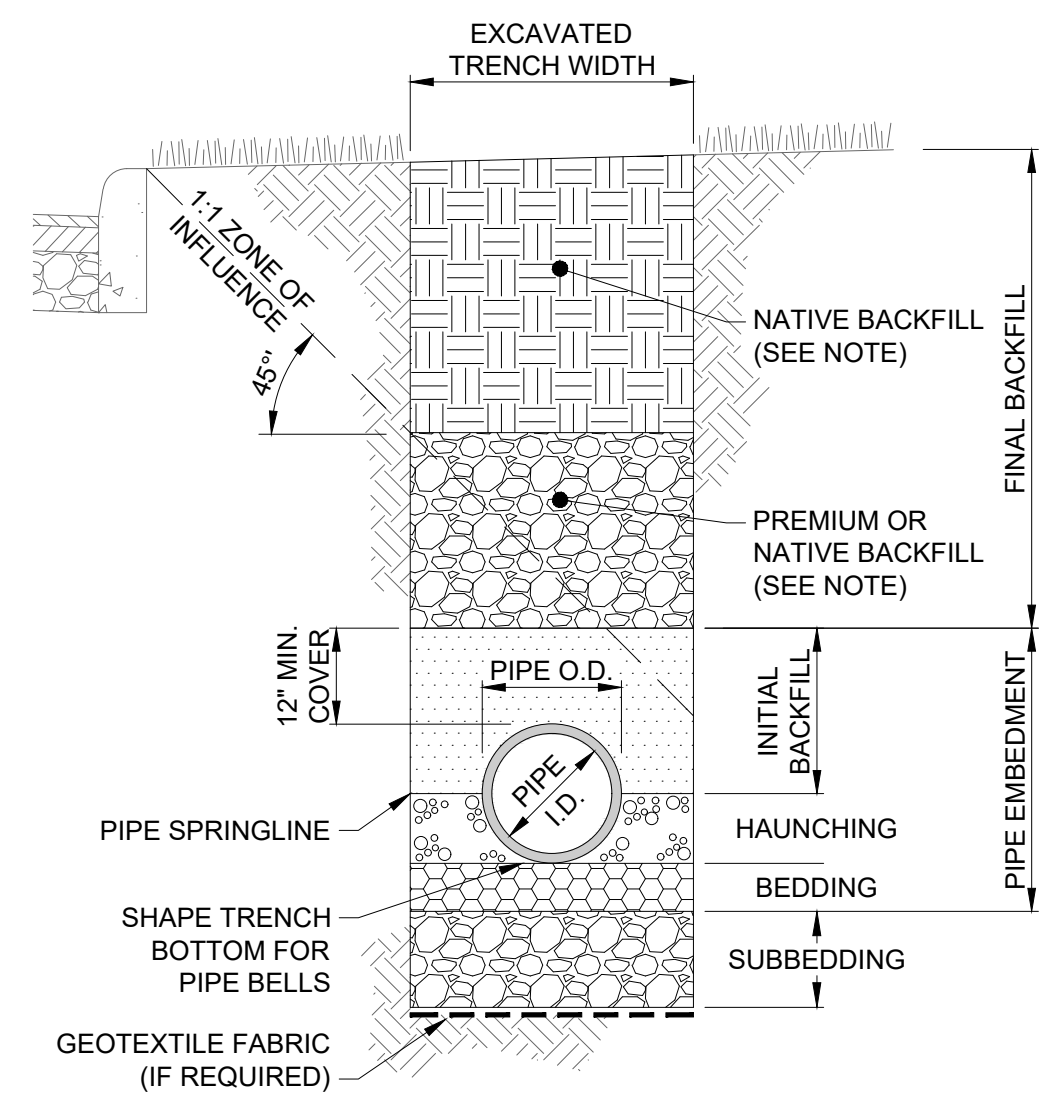
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 BEACHWOOD, CUYAHOGA COUNTY, OHIO

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ADDITIONAL SIDEWALK -
GRADING AND DRAINAGE PLAN

PROJECT NO.		39364
DISCIPLINE		CIVIL
SHEET NAME		GRD PLAN 2
SHEET	OF	
9	13	

VERDANTAS.COM\PROJECT FILES\524\39364 - SELECT MEDICAL BEACHWOOD PARKING LOT\CAD\DWG\DRN\DRN_39364 - GRADING AND DRAINAGE PLAN.DWG - GRD PLAN 2 - 3/17/2026 8:19:53 AM - WILLIAM VASKO

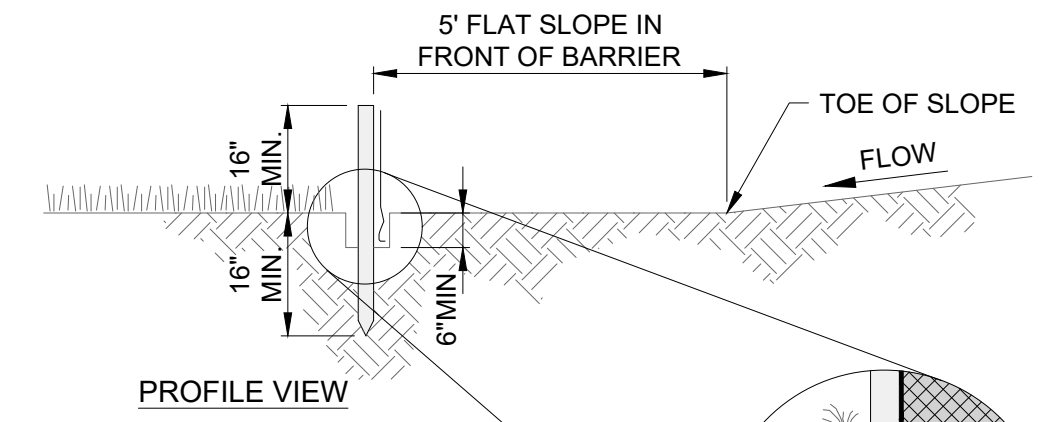
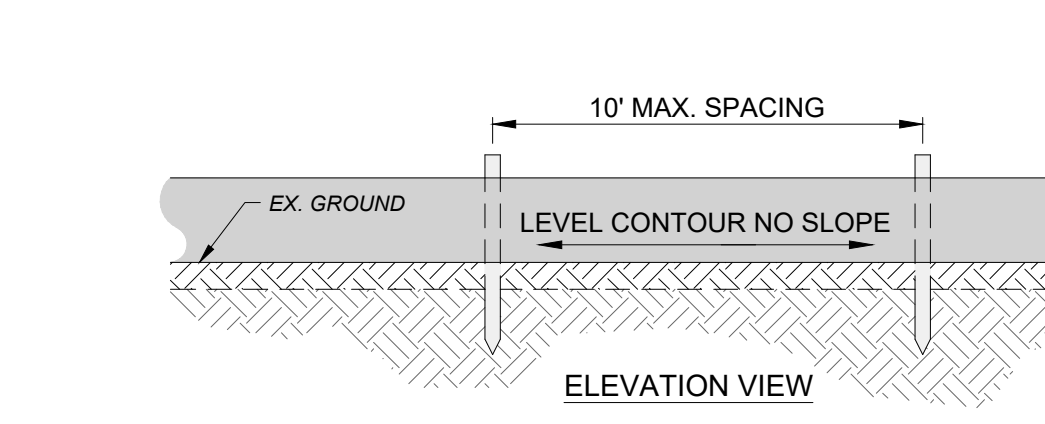


- NOTES:**
- EXCAVATED TRENCH WIDTH: MEASURED FROM BOTTOM OF TRENCH TO 12" OVER TOP OF PIPE (WITHIN PIPE EMBEDMENT), THE MIN. TRENCH WIDTH SHALL BE PIPE O.D. + 18" AND THE MAX. SHALL BE:
 - PIPE O.D. + 24" FOR 24" AND SMALLER I.D. PIPE
 - PIPE O.D. + 30" FOR 27" THRU 54" I.D. PIPE
 - PIPE O.D. + 48" FOR 60" AND LARGER I.D. PIPE
 - FINAL BACKFILL: AREAS UNDER BUILDINGS, STRUCTURES, PAVEMENTS AND ZONE OF INFLUENCE SHALL BE PREMIUM BACKFILL ODOT ITEM 304 CRUSHED LESTONE [OR LOW STRENGTH MORTAR AS PER PLAN] MEASURED FROM THE OUTSIDE EDGE OF PAVEMENT OR BOTTOM OF FOOTING. PAVEMENT INCLUDES ROADWAY, SHOULDER AND DRIVEWAY, BUT NOT SIDEWALK. ALL OTHER AREAS SHALL BE SUITABLE ON-SITE NATIVE FRIABLE MATERIAL. NO SLAG OR SLACKER AGGREGATES ALLOWED.
 - PIPE EMBEDMENT:
 - BEDDING: 6" MIN. OF NO. 6, 7, 8, 57 OR 67 COURSE INTERLOCKING LESTONE AGGREGATE.
 - HAUNCHING: NO. 6, 7, 8, 57 OR 67 COURSE INTERLOCKING LESTONE AGGREGATE [OR LOW STRENGTH MORTAR AS PER PLAN].
 - INITIAL BACKFILL: AREAS UNDER BUILDINGS, STRUCTURES, PAVEMENTS AND ZONE OF INFLUENCE SHALL BE NO. 6, 7, 8, 57 OR 67 COURSE INTERLOCKING LESTONE AGGREGATE [OR LOW STRENGTH MORTAR AS PER PLAN]. ALL OTHER AREAS SHALL BE NO. 6, 7, 8, 57 OR 67 COURSE INTERLOCKING LESTONE AGGREGATE FOR FLEXIBLE PIPE AND SUITABLE ON-SITE NATIVE FRIABLE MATERIAL FOR RIGID PIPE.
 - SUBBEDDING: WHERE AN UNSTABLE TRENCH BOTTOM CONDITION IS ENCOUNTERED, UNDERCUT UNSUITABLE MATERIAL 12" MIN. OR DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH PREMIUM BACKFILL ODOT ITEM 304 CRUSHED LESTONE.
 - COMPACTION REQUIREMENTS:

COMPACTION TESTS REQUIRED EVERY 12" VERTICAL COMPACTED LIFT EVERY 50 FEET UNDER BUILDINGS, STRUCTURES AND PAVEMENTS, AND 100 FEET OUTSIDE PAVEMENT:

 - STRUCTURAL FILL: UNDER BUILDINGS, STRUCTURES, PAVEMENTS AND ZONE OF INFLUENCE COMPACT TO 98% MAXIMUM DRY DENSITY OF STANDARD PROCTOR WITH MOISTURE CONTENT ADJUSTED TO +2/-2% OF OPTIMUM.
 - ENGINEERED FILL: UNDER WALKS COMPACT TO 95% MAXIMUM DRY DENSITY OF STANDARD PROCTOR WITH MOISTURE CONTENT ADJUSTED TO +2/-2% OF OPTIMUM.
 - GENERAL FILL: ALL OTHER AREAS COMPACT TO 90% MAXIMUM DRY DENSITY OF STANDARD PROCTOR WITH MOISTURE CONTENT ADJUSTED TO +3/-3% OF OPTIMUM.
 - TRENCH BACKFILL: COMPACTION OF LIFTS SHALL BE ACCOMPLISHED WITH HAND-OPERATED TAMPERS OR OTHER LIGHTWEIGHT COMPACTORS. FLOODING OR JETTING FOR PLACEMENT AND COMPACTION OF BACKFILL IS NOT ACCEPTABLE.
 - TRENCH DAMS: SHALL BE REQUIRED WHEN AND WHERE NECESSARY AS PER PLAN OR DIRECTED BY THE ENGINEER.
 - STEEL PLATE: IF LOW STRENGTH MORTAR IS USED FOR PREMIUM BACKFILL, USE 1" THICK STEEL PLATES UNTIL SURFACE RESTORATION IS COMPLETE. STEEL PLATES SHALL BE PROTECTED FROM SLIDING AND A TEMPORARY ASPHALT RAMP INSTALLED WHERE EXPOSED TO VEHICULAR TRAFFIC WHICH COULD CONSTITUTE A DRIVING HAZARD.

4" DIA. & LARGER SANITARY, STORM & WATER TRENCHING & BACKFILL DETAIL
SCALE: NONE

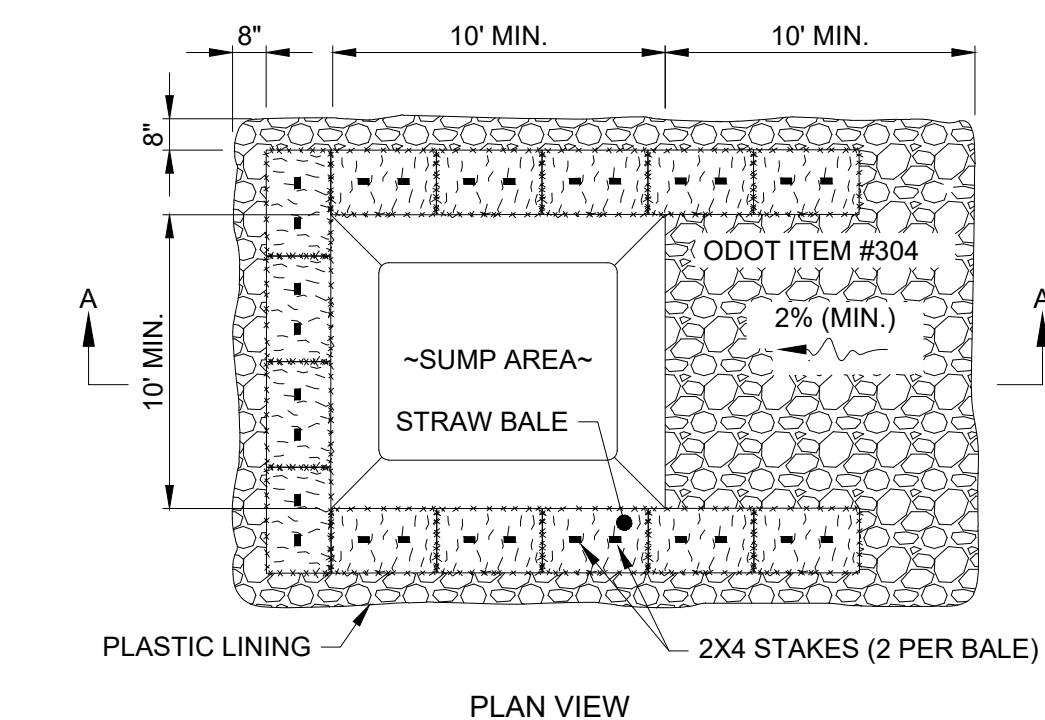
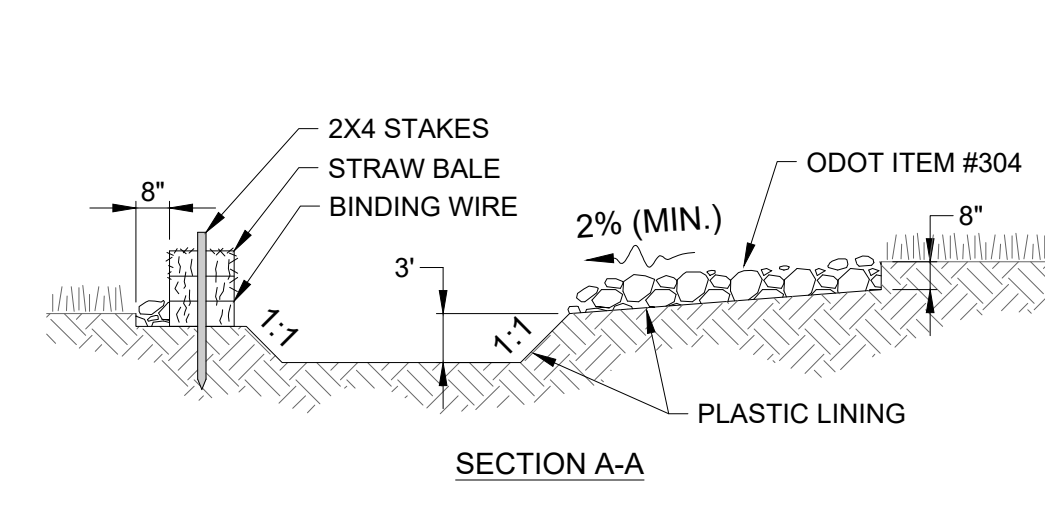


- NOTES:**
- PRESERVE VEGETATION FOR 5 FEET OR AS MUCH AS POSSIBLE UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE RE-ESTABLISHED WITHIN 7 DAYS FROM SILT FENCE INSTALLATION.
 - SILT FENCE MAY ONLY PASS RUNOFF AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, THEN CHANGE THE LAYOUT OF THE SILT FENCE, REMOVE ACCUMULATED SEDIMENT OR INSTALL OTHER PRACTICES.
 - SILT FENCE SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, VERIFICATION FABRIC IS SECURELY ATTACHED TO FENCE POSTS, AND VERIFICATION FENCE POSTS ARE FIRMLY IN THE GROUND. BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED 1/3 THE FENCE HEIGHT.
 - THE MAXIMUM DRAINAGE AREA PER 100 FEET OF SILT FENCE IS 1/2 ACRE AND IS DEPENDENT ON THE SLOPE PER THE CHART BELOW:

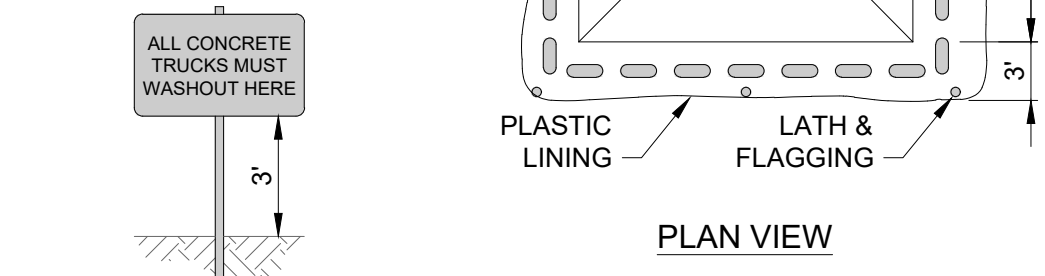
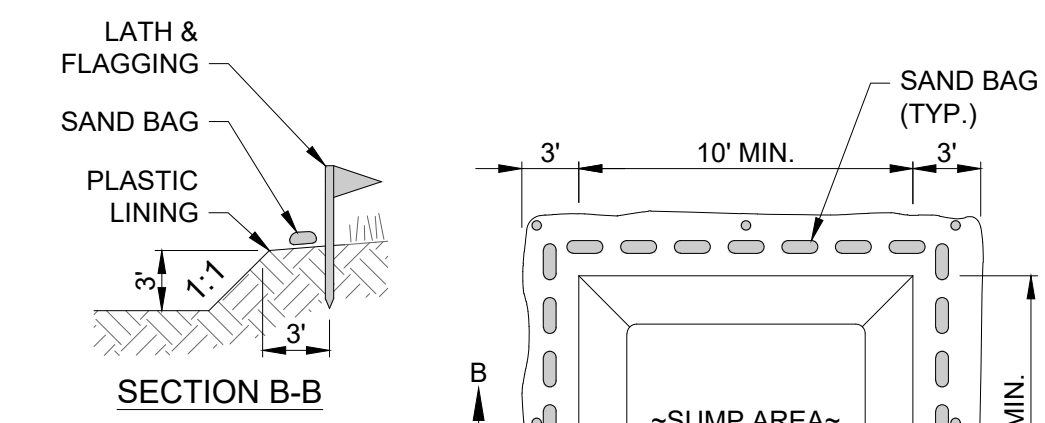
MAX. DRAINAGE AREA (AC.) PER 100-FT OF SILT FENCE (*)	RANGE OF SLOPE PER INDIVIDUAL DRAINAGE AREA
0.50 AC.	<2% (50H:1V)
0.25 AC.	≥2% (50H:1V) BUT <20% (5H:1V)
0.125 AC.	≥20% (5H:1V) BUT <50% (2H:1V)

(*) SILT FENCE CANNOT BE USED FOR SLOPES ≥50% (2H:1V).

SILT FENCE DETAIL
SCALE: NONE



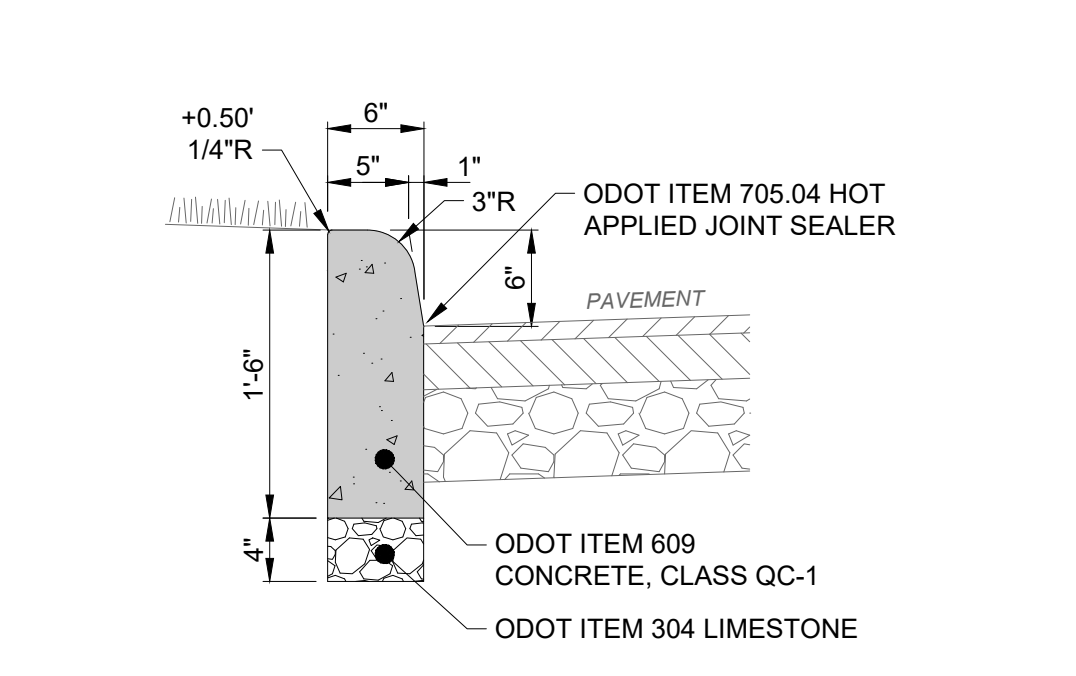
SINGLE LOCATION FOR SMALL PROJECT



TEMPORARY LOCATION FOR MULTIPLE PHASE OR LARGE PROJECT

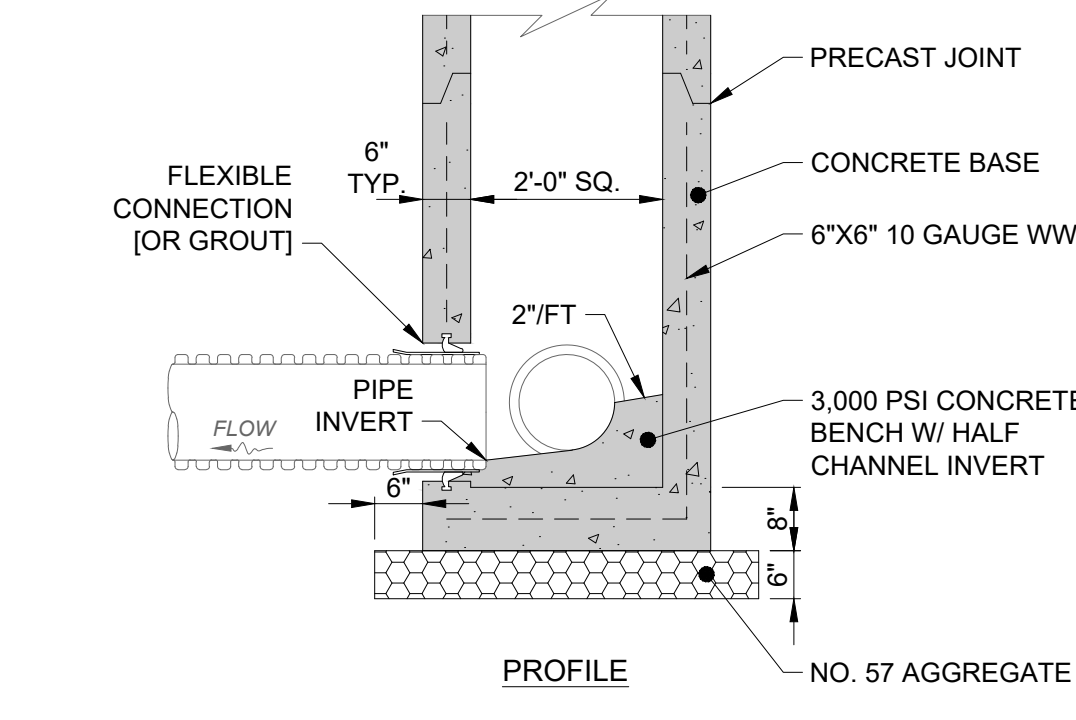
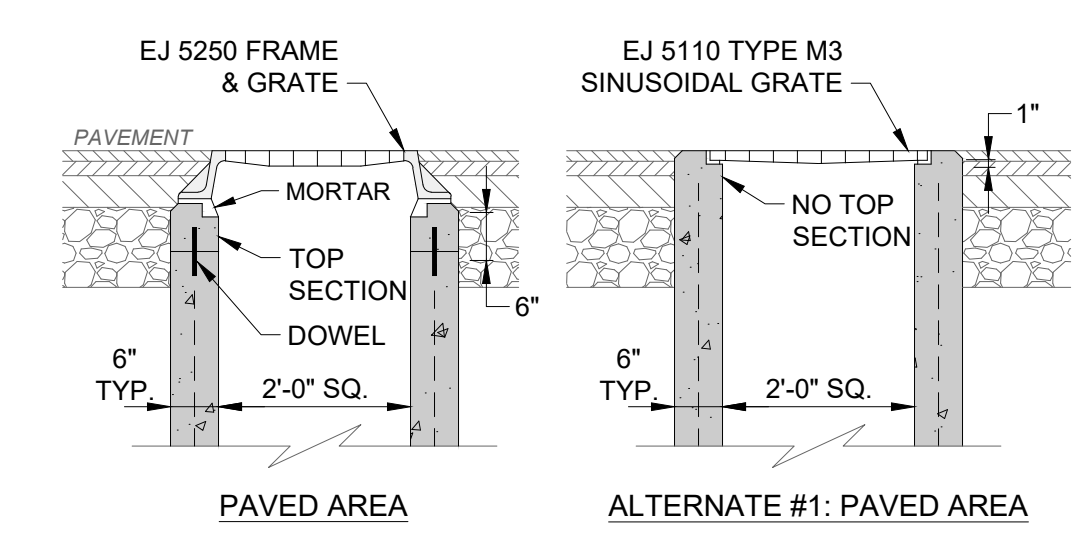
- NOTES:**
- CONCRETE WASHOUT AREA SHALL BE LOCATED A MINIMUM OF 100' FROM STORM SEWER INLETS, STREAMS, WETLANDS OR ANY OTHER SURFACE WATERS OF THE STATE.
 - IF CONCRETE WASHOUT AREA IS LOCATED AWAY FROM A PAVED SURFACE, CONSTRUCT A GRAVEL ACCESS ROUTE EQUAL IN COMPOSITION TO A CONSTRUCTION ENTRANCE.
 - CONCRETE WASHOUT AREA SHALL BE SUFFICIENT SIZE TO CONTAIN CONCRETE WASTE GENERATED. LARGE SITES MAY REQUIRE MULTIPLE CONCRETE WASHOUT AREAS.
 - PLASTIC LINING SHALL BE DOUBLE-LINED, CONTINUOUS 10-ML POLYETHYLENE SHEETING FREE OF HOLES, TEARS OR OTHER DEFECTS INSTALLED ON A SMOOTH, LEVEL SURFACE, FREE OF LARGE ROCKS AND DEBRIS.
 - CONCRETE WASHOUT SIGNAGE SHALL BE CLEARLY VISIBLE AND LOCATED WITHIN 30 FEET OF EACH WASHOUT AREA.
 - CONCRETE WASHOUT AREA SHALL BE COVERED DURING INCLEMENT WEATHER TO PREVENT OVERFLOW.
 - PREFABRICATED, PORTABLE AND RE-USABLE CONCRETE WASHOUT CONTAINERS ARE ACCEPTABLE.
 - CONCRETE WASHOUT AREA SHALL BE INSPECTED DAILY TO CHECK FOR DAMAGE AND DETERMINE IF IT NEEDS CLEANED OR REPLACED. ANY DAMAGE TO THE SIDEWALLS OR PLASTIC LINING SHALL BE REPAIRED IMMEDIATELY. REPLACE THE ENTIRE CONCRETE WASHOUT AREA WHEN IT IS 75% FULL.

CONCRETE WASHOUT DETAIL
SCALE: NONE



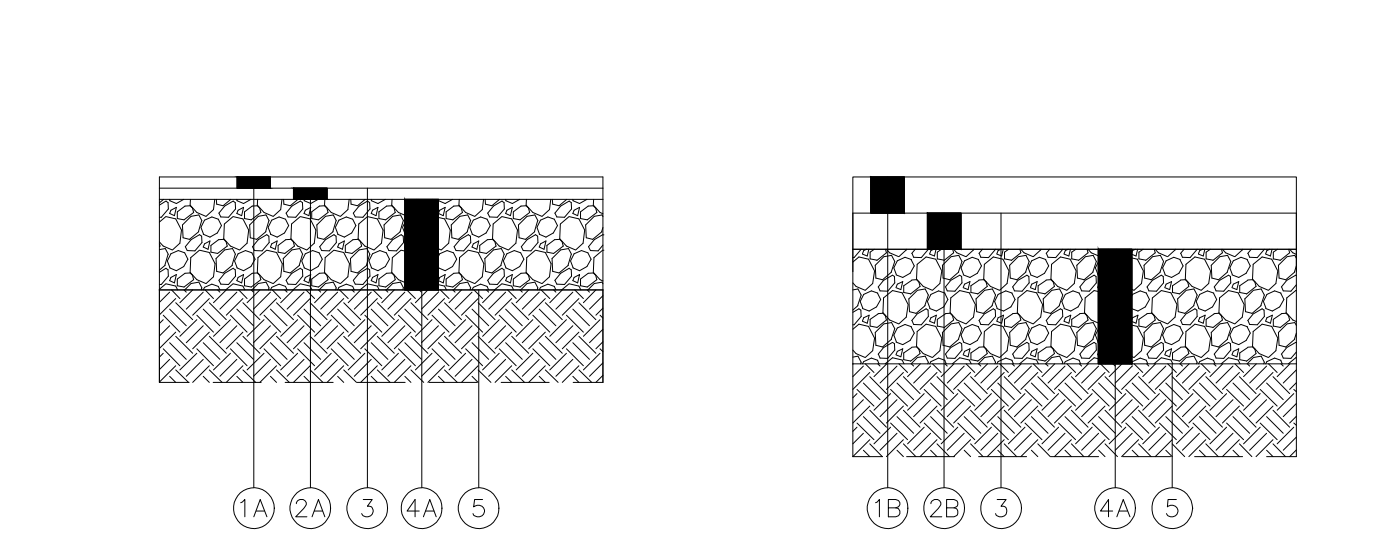
- NOTES:**
- INSTALL 1/2" PREFORMED JOINT MATERIAL AND USE 5/8"Ø X 18" LONG DOWELS INTO COLD JOINTS TOP AND BOTTOM WHERE NEW CURB MEETS EXISTING CURB.
 - PROVIDE CONTRACTION JOINTS AT 10' O.C.
 - APPLY LIQUID-MEMBRANE CURING COMPOUND.
 - THIS DETAIL SHOWS ASPHALT PAVEMENT FOR REFERENCE ONLY. SEE SITE PLAN FOR ACTUAL TYPE OF PAVEMENT.

**(ODOT TYPE 6)
6" VERTICAL CURB DETAIL**
SCALE: NONE



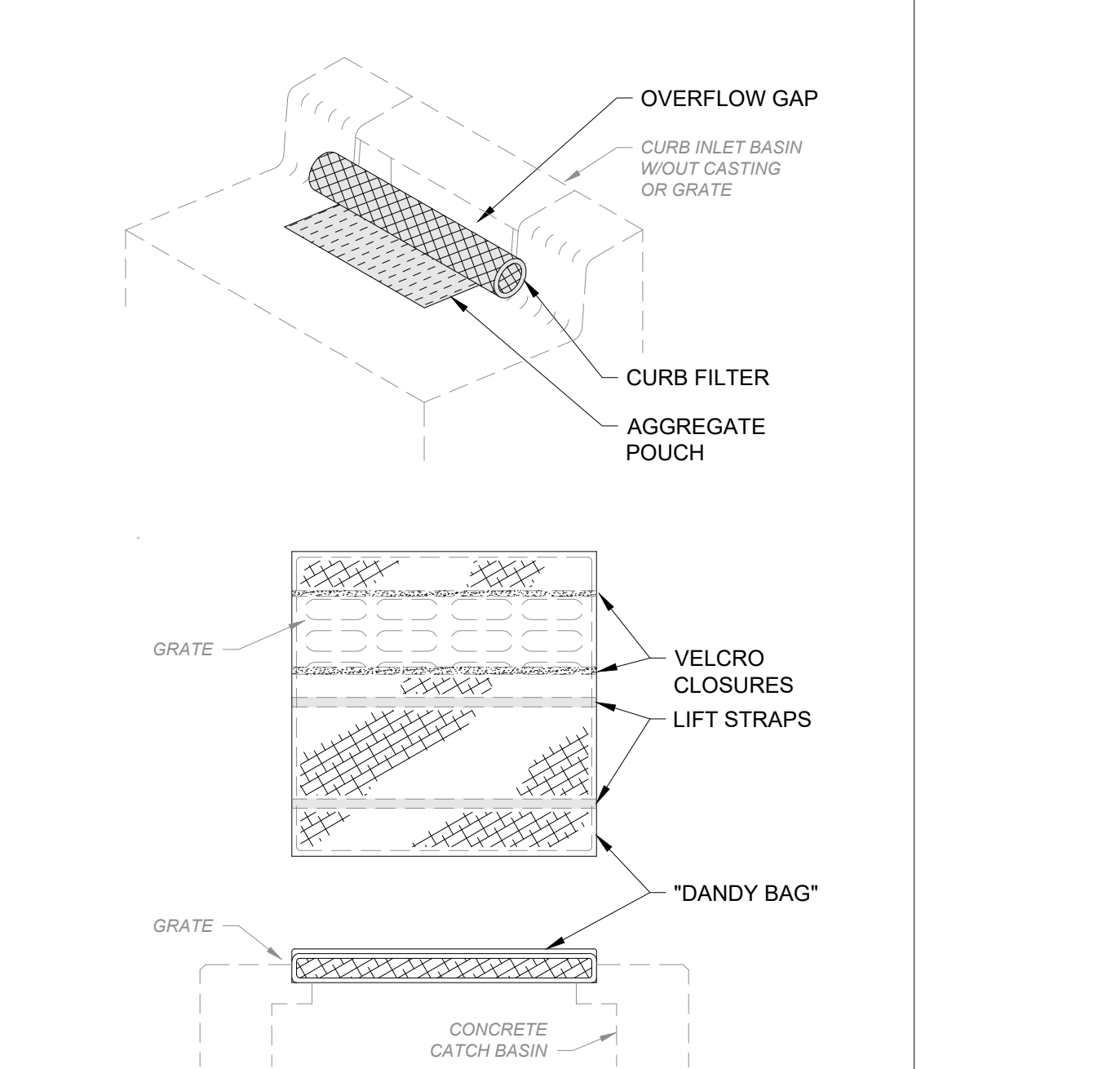
- NOTES:**
- CONCRETE SHALL BE ODOT ITEM 499, CLASS QC-1.
 - STRUCTURE SHALL MEET H-20 LOADING.
 - PRECAST CONCRETE STRUCTURE AND REINFORCEMENT SHALL CONFORM TO ASTM C-913.
 - PRECAST KNOCKOUT SIDES FOR CURB DRAIN AND PIPE CONNECTION HOLES, AS REQUIRED. PIPE OPENINGS SHALL BE O.D. OF PIPE PLUS 2", AND INTERSTITIAL SPACE FILLED WITH GROUT [...] OR ... ALL PIPE OPENINGS MUST BE PRECAST WITH FLEXIBLE CONNECTIONS (Z-LOK OR A-LOK) PER ASTM C-923].
 - IF TOP SECTION IS A SEPARATE CAST PIECE, 1/2"Ø X 6" L DOWELS SHALL BE USED AT EACH CORNER TO ATTACH THE TOP TO THE BOTTOM SECTIONS OF BASIN.
 - GRATE MUST INCLUDE LETTERING "DUMP NO WASTE" AND FISH IMAGE.
 - THIS DETAIL IS FOR REFERENCE AND DIMENSION CONTROL ONLY; SEE UTILITY PLAN FOR ACTUAL PIPE SIZES AND ELEVATIONS.

**(PRECAST CONCRETE 2'X2')
INLET BASIN DETAIL**
SCALE: NONE



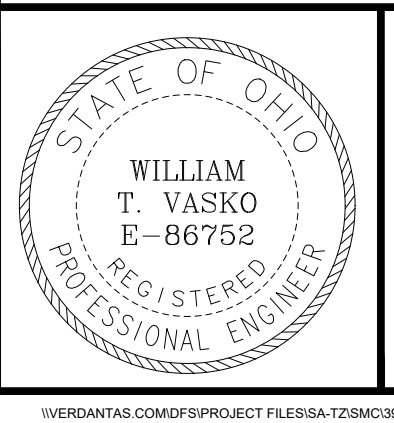
STANDARD DUTY PAVEMENT SECTION FOR PARKING STALLS
HEAVY DUTY PAVEMENT SECTION FOR DRIVE AISLES
FROM ORIGINAL DESIGN

- ODOT ITEM 448, 1-1/4" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG 64-22
- ODOT ITEM 448, 2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, PG 64-22
- ODOT ITEM 448, 1-3/4" ASPHALT CONCRETE INTER. COURSE, TYPE 2
- ODOT ITEM 448, 3" ASPHALT CONCRETE INTER. COURSE, TYPE 2
- ODOT ITEM 407 - TACK COAT FOR INTERMEDIATE COURSE (@ 0.04 GALS./S.Y.)
- ODOT ITEM 304 (MODIFIED), 10" AGGREGATE BASE (SEE GEOTECHNICAL REPORT)
- ODOT ITEM 304, 6" AGGREGATE BASE
- SUBGRADE COMPACTION PER SPECIFICATIONS



- NOTES:**
- ALL NEW AND EXISTING STORM INLET BASINS WITHIN THE WORK LIMITS SHALL HAVE INLET PROTECTION INSTALLED.
 - INLET PROTECTION SHALL BE INSTALLED AS EACH STORM INLET IS CONSTRUCTED.
 - NOT ALL ITEMS SHOWN MAY APPLY OR DIFFERENT TYPES OR CONFIGURATIONS MAY BE REQUIRED. THE CONTRACTOR SHALL MEASURE EACH INLET TO CONFIGURE AND ASSEMBLE CUSTOMIZED INLET FILTERS.

INLET PROTECTION DETAIL
SCALE: NONE



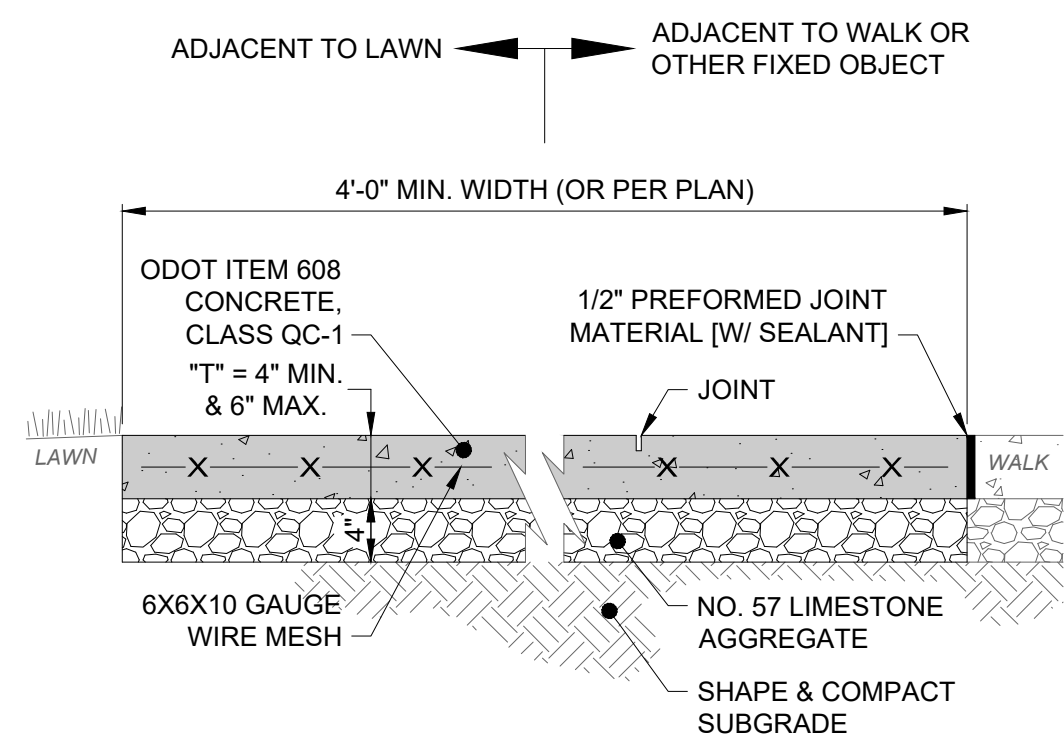
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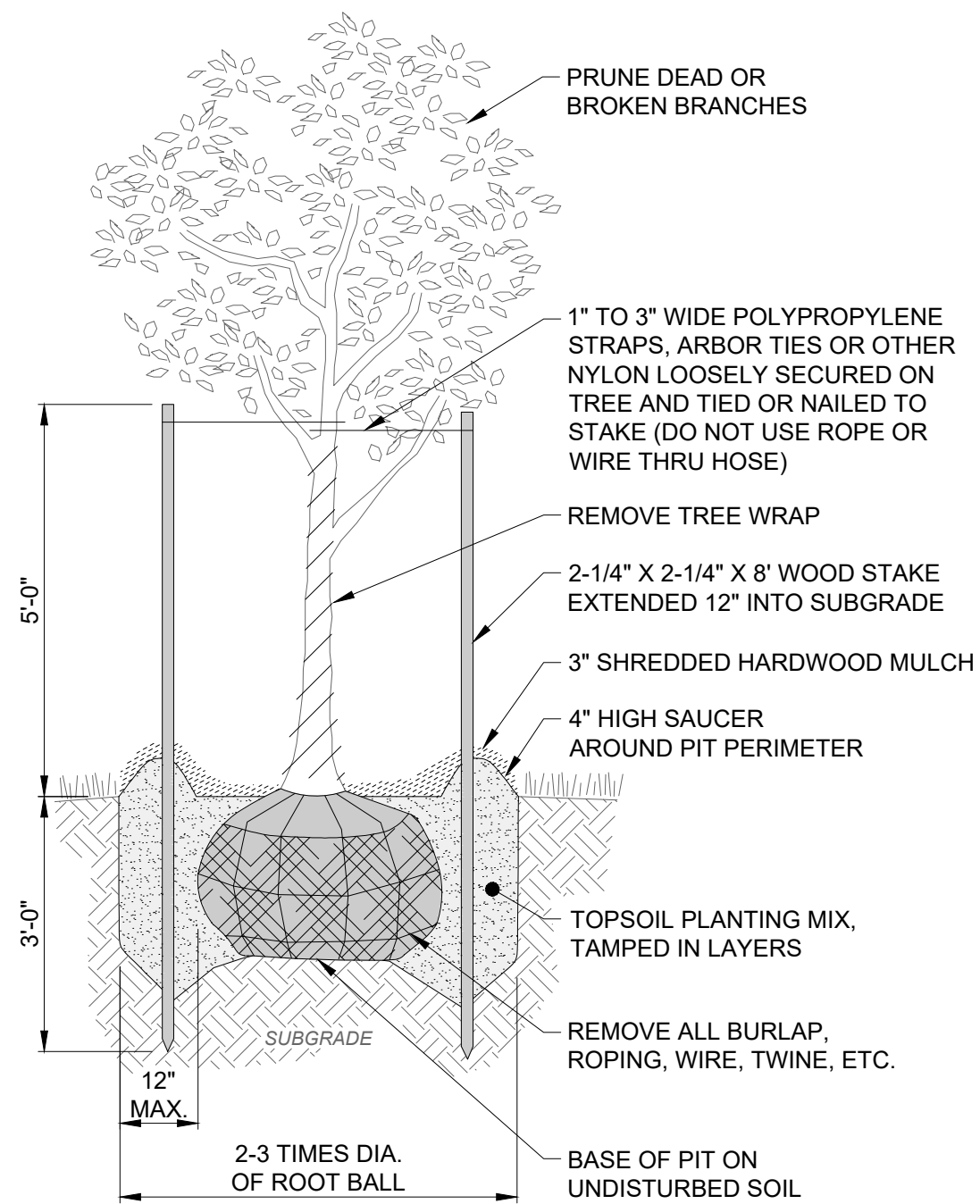
SITE DETAILS

PROJECT NO.	39364
DISCIPLINE	CIVIL
SHEET NAME	SITE DETAILS 1
SHEET	OF
10	13



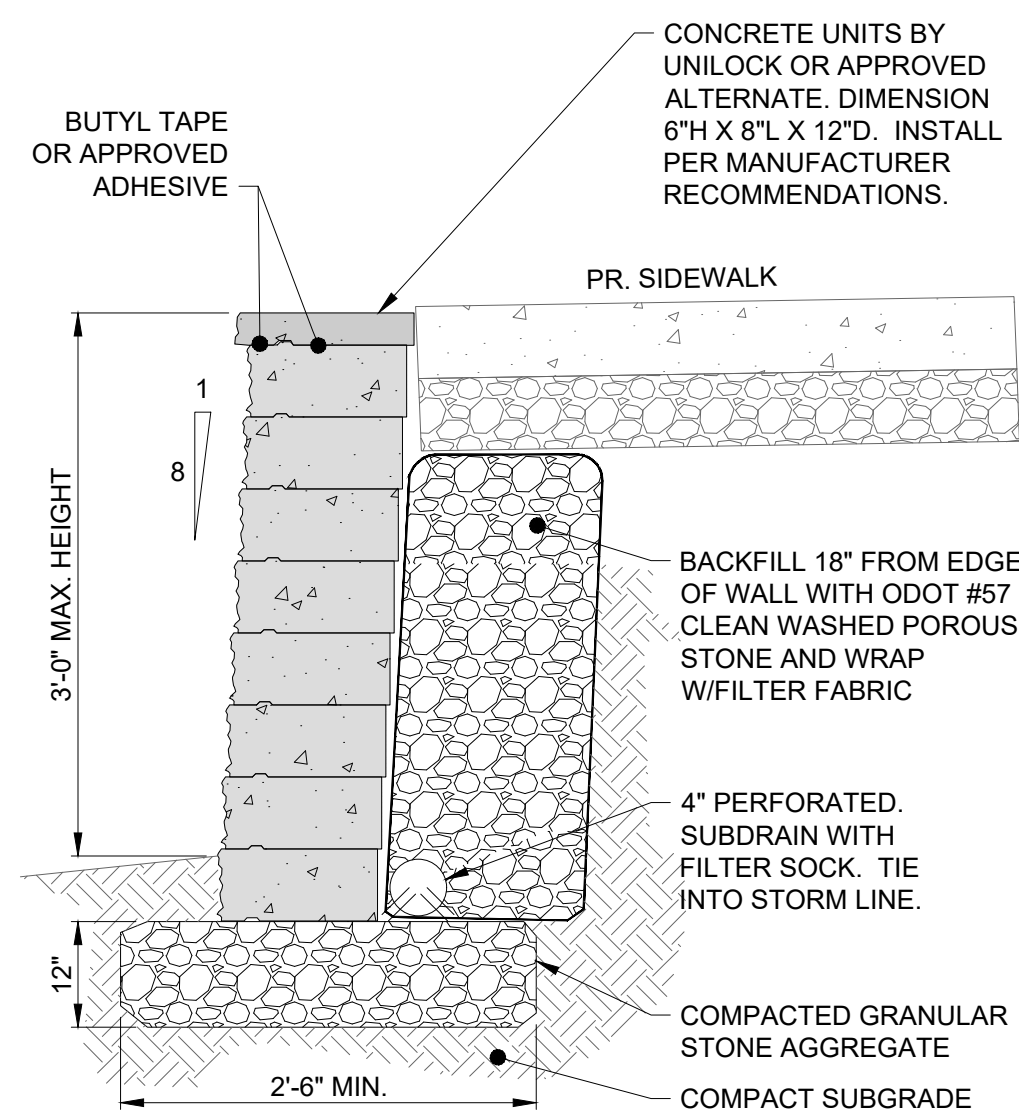
- NOTES:**
1. THIS DETAIL SHOWS A 4" SIDEWALK AND AGGREGATE FOR REFERENCE ONLY. SEE LAYOUT PLAN FOR ACTUAL THICKNESSES.
 2. SEE LAYOUT PLAN FOR JOINT LOCATIONS. IF JOINTS NOT SHOWN, CONTRACTOR SHALL DETERMINE LOCATION OF ALL JOINTS. DIVIDE JOINTS INTO EQUALLY SPACED RECTANGULAR BLOCKS (4' MIN.).
 3. SAW CUT OR HAND TOOL JOINT 1/8" WIDE BY 1/4 OF "T" DEEP.
 4. ROUND ALL EDGES AND JOINTS WITH A 1/4" RADIUS.
 5. INSTALL PREFORMED JOINT MATERIAL EVERY 30', OR BETWEEN SIDEWALK AND FIXED OBJECT (I.E. MANHOLE, WALK, BUILDING).
 6. [SEE SEPARATE "EXPANSION JOINT W/ SEALANT" DETAIL.]
 7. LIGHTLY BROOM THE FINISH PERPENDICULAR TO THE WALKING PATH OR PER PLAN. IF HAND TOOLED JOINTS AND EDGES ARE SPECIFIED, FINISH AFTER PANEL INTERIOR TEXTURE HAS BEEN APPLIED (I.E WINDOW PANE EFFECT).
 8. APPLY LIQUID-MEMBRANE CURING COMPOUND (200 S.F./GAL.).

CONCRETE WALK DETAIL
SCALE: NONE



- NOTES:**
1. CROWN OF ROOT BALL TO BEAR THE SAME RELATION TO FINISH GRADE WHICH IT WAS GROWN AT THE NURSERY.
 2. DO NOT DAMAGE ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
 3. REMOVE NURSERY TREE SUPPORTS BEFORE PLANTING.
 4. REMOVE TREE RINGS, TREE WRAP AND STAKES 1 YEAR AFTER INSTALLATION. NOTIFY OWNER PRIOR TO REMOVAL.

TREE PLANTING DETAIL
SCALE: NONE



- NOTES:**
1. THIS DETAIL IS FOR REFERENCE ONLY. IT SHOWS THE SITE-CIVIL ENGINEER'S DESIGN ASSUMPTIONS TO DETERMINE PROPOSED EARTHWORK GRADING AND SPOT GRADES SHOWN ON THE GRADING PLAN.

PRECAST CONCRETE UNIT LANDSCAPE WALL DETAIL
SCALE: NONE



NO	REVISION	DATE

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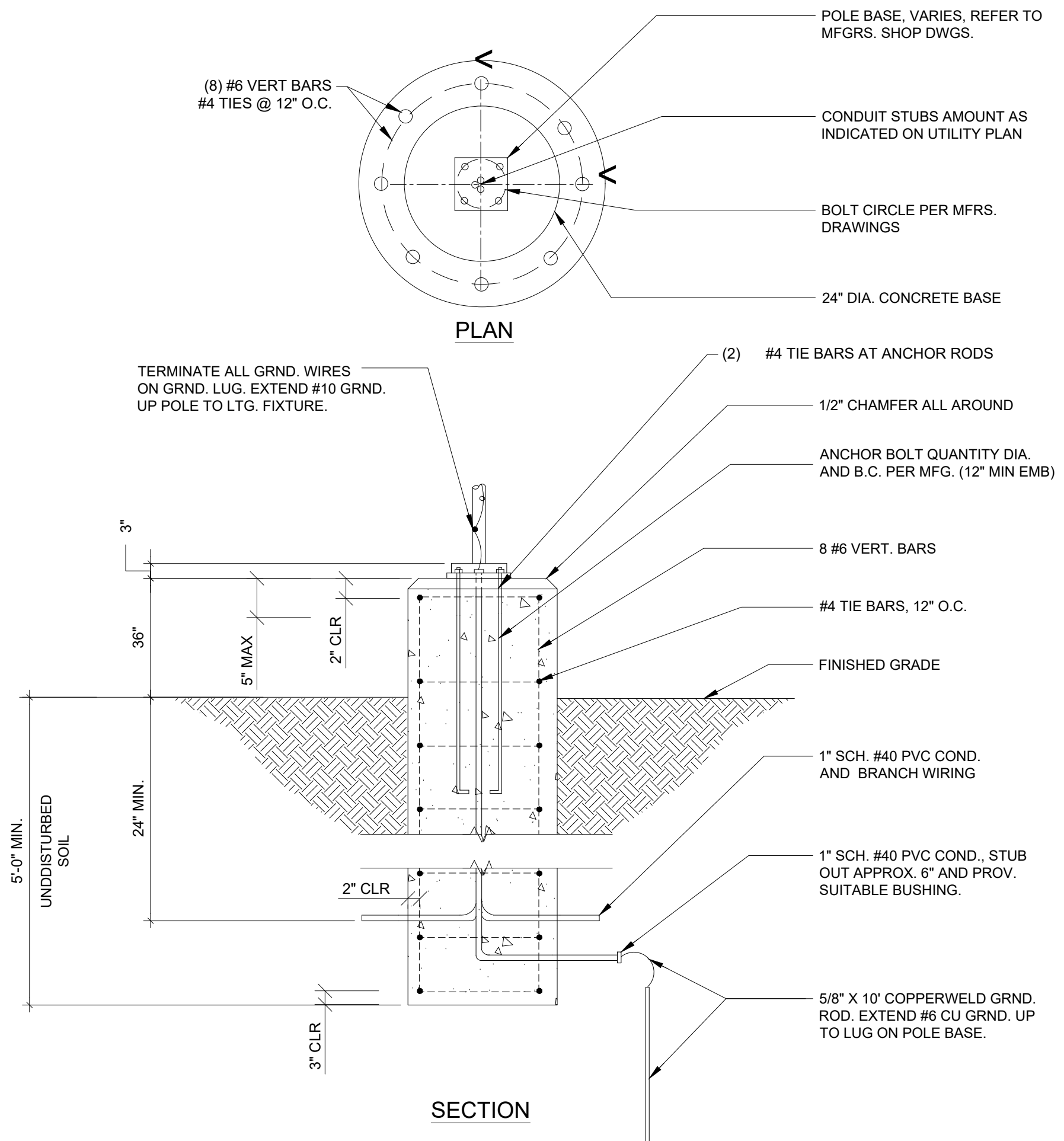
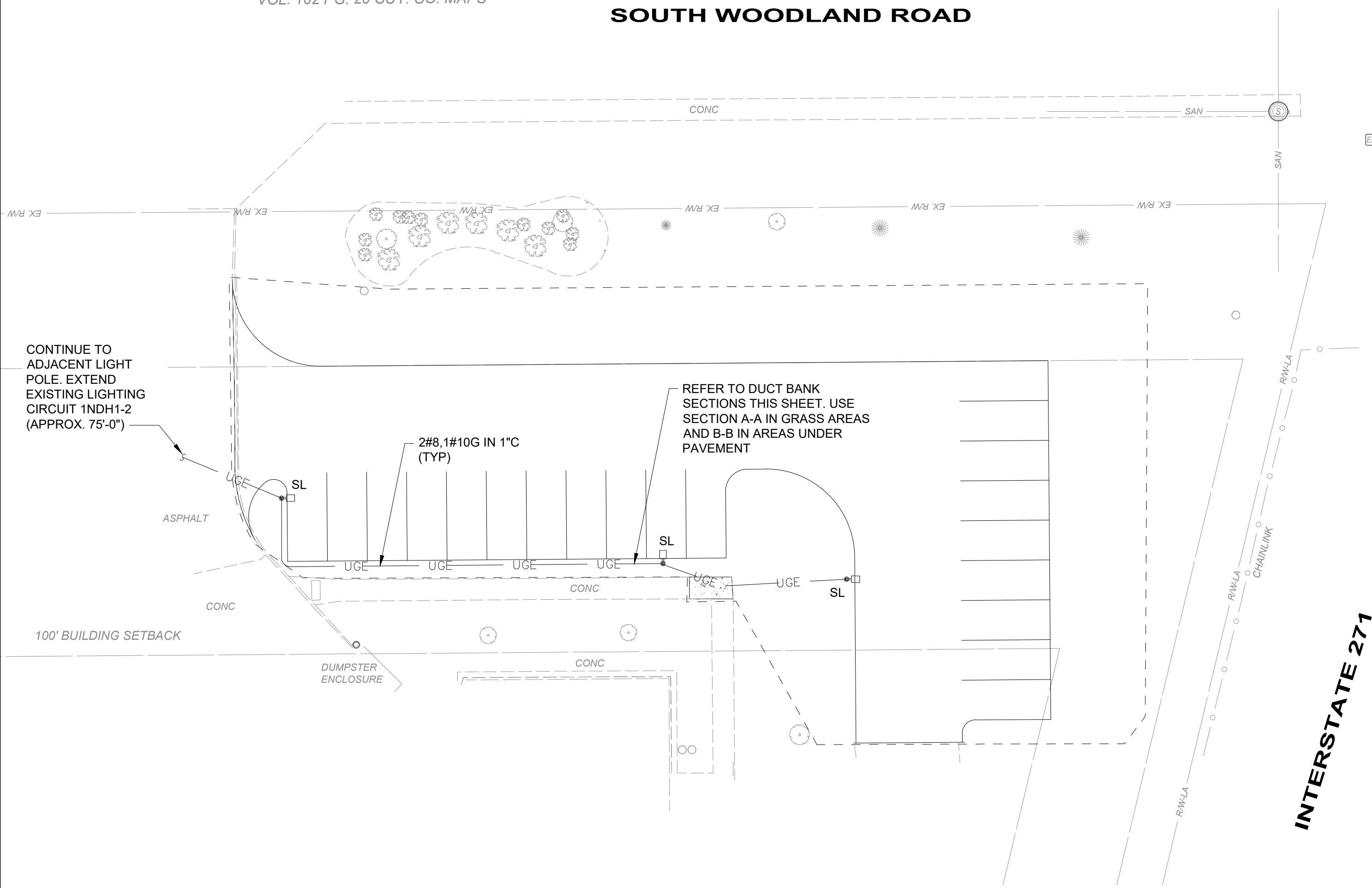
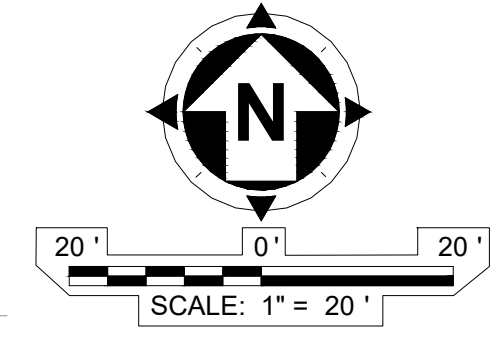
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ISSUE DATE:	03/24/26
SCALE:	AS SHOWN
DESIGNED BY:	WTV
DRAWN BY:	WTV
CHECKED BY:	LCH

SITE DETAILS

PROJECT NO.		39364
DISCIPLINE		CIVIL
SHEET NAME		SITE DETAILS 2
SHEET	OF	
11	13	

SOUTH WOODLAND ROAD 100'
VOL. 102 PG. 20 CUY. CO. MAPS

SOUTH WOODLAND ROAD

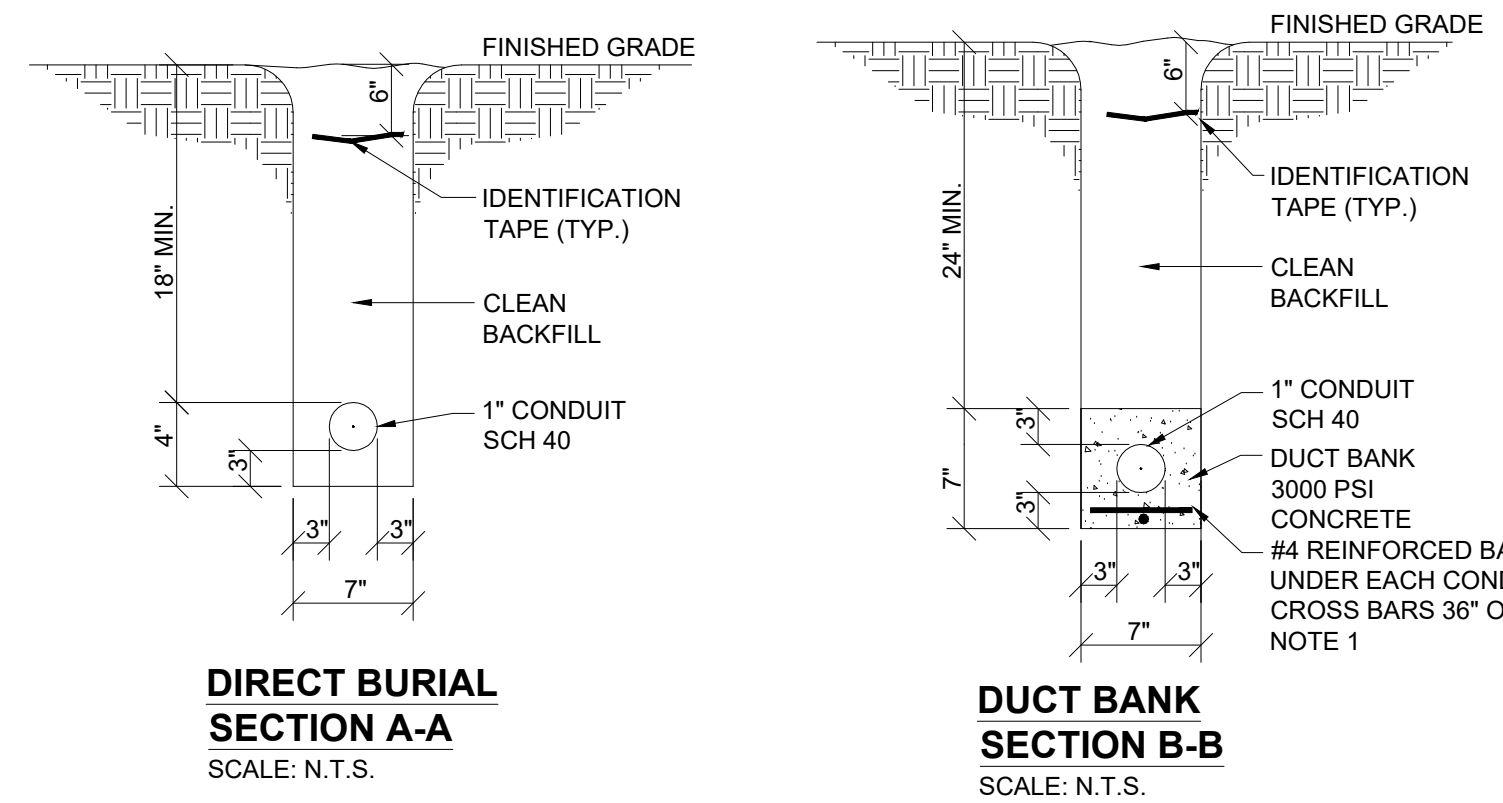


LEGEND

— UGE — UNDERGROUND ELECTRIC

⊕ PROPOSED LIGHT FIXTURE

- SHEET NOTES**
1. PROVIDE (AND SIZE) ANY QUAZITE PULL BOXES OR JUNCTION BOXES AS NEEDED.
 2. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
 3. CONTRACTOR SHALL REPAIR, RESURFACE, OR RECONSTRUCT ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.

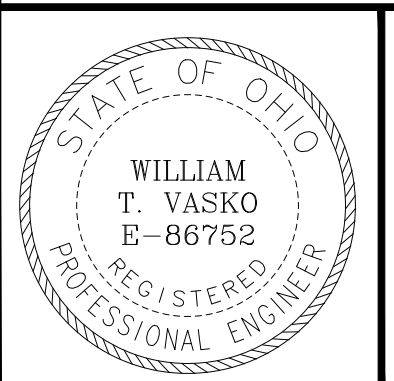


- DIRECT BURIAL SECTION A-A**
SCALE: N.T.S.
- DUCT BANK SECTION NOTES:**
1. ALL DIMENSIONS ARE SHOWN AS A MINIMUM.
 2. COORDINATE DEPTH WITH ALL OTHER UTILITIES.

- DUCT BANK SECTION B-B**
SCALE: N.T.S.
- DUCT BANK SECTION NOTES:**
1. PROVIDE CONCRETE ENCASUREMENT THROUGHOUT LENGTH OF DUCT BANK.
 2. PROVIDE TRENCH LARGE ENOUGH FOR DUCT BANK.
 3. ALL DIMENSIONS ARE SHOWN AS A MINIMUM.
 4. COORDINATE DEPTH WITH ALL OTHER UTILITIES.

LUMINAIRE SCHEDULE

SYMBOL	QTY.	FIXTURE MANUFACTURER	CATALOG NUMBER	MOUNT HEIGHT & CONFIGURATION	DISTRIBUTION TYPE	FIXTURE WATTAGE	FIXTURE LUMENS	COMMENTS
SL	3	CREE LIGHTING	ARE-EDG-4MB-DA-10-E-UL-SV-525-40K	20' STEEL POLE	TYPE 4MB	171	17504	PROVIDE POLE TO MATCH EXISTING



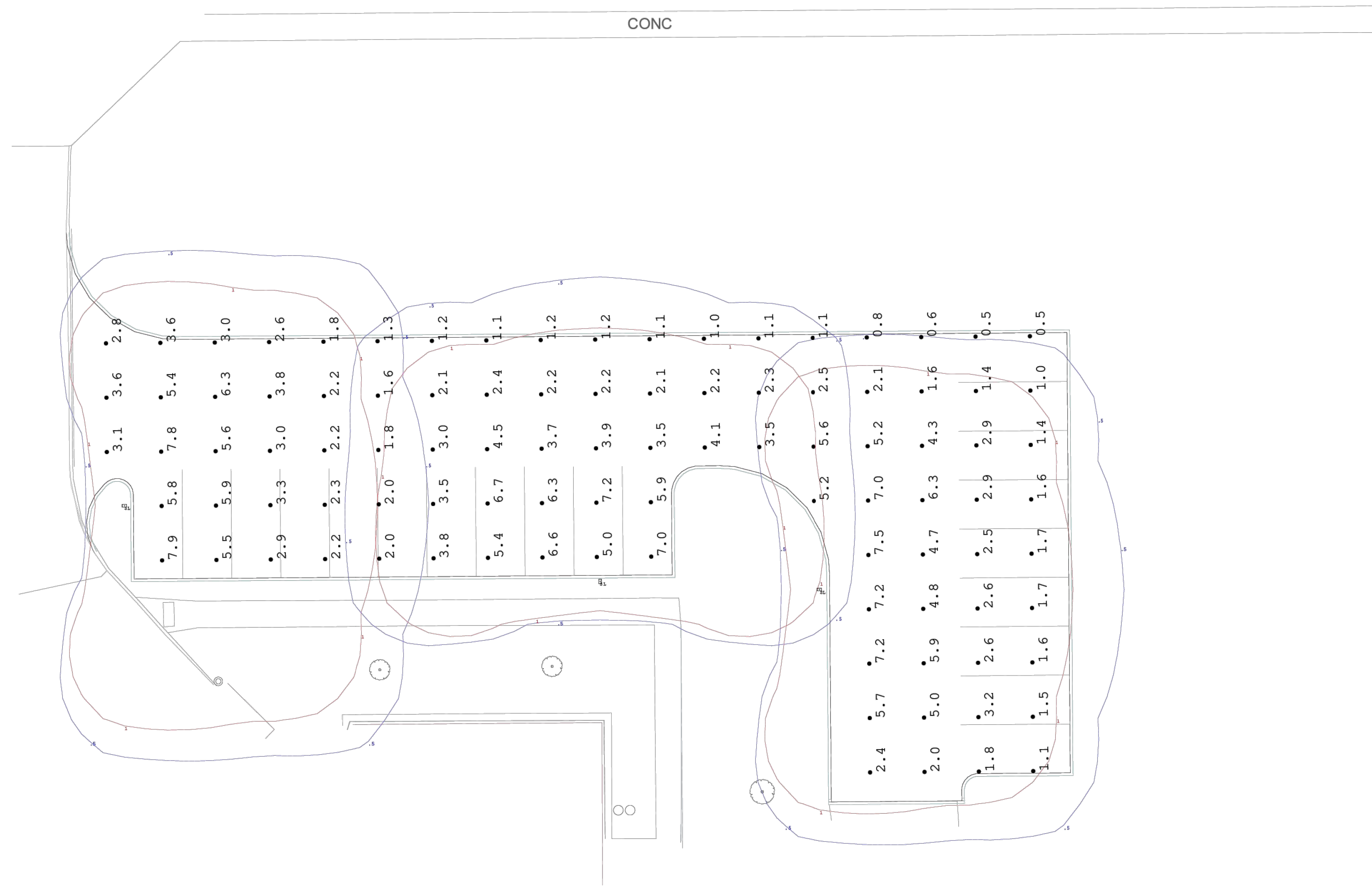
NO	REVISION	DATE

CLEVELAND CLINIC REHABILITATION HOSPITAL
SELECT MEDICAL
PARKING LOT EXPANSION PROJECT
BEACHWOOD, CUYAHOGA COUNTY, OHIO

ISSUED FOR: PERMIT
ISSUE DATE: 03/24/26
SCALE: AS SHOWN
DESIGNED BY: WTV
DRAWN BY: WTV
CHECKED BY: LCH

PARKING LOT LIGHTING PLAN

PROJECT NO.	
39364	
DISCIPLINE	
CIVIL	
SHEET NAME	
LIGHTING PLAN	
SHEET	OF
12	13



Symbol	Label	Arrangement	Sp	LF	Summation	Summation	Total
FC	FOOT-100-3-8DISTANCE	Single	60	0.850	1750	150	350

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Illuminance	Fc	3.36	7.9	0.8	4.78	10.88



NO	REVISION	DATE

CLEVELAND CLINIC REHABILITATION HOSPITAL
SELECT MEDICAL
PARKING LOT EXPANSION PROJECT
BEACHWOOD, CUYAHOGA COUNTY, OHIO

ISSUED FOR:	PERMIT
ISSUE DATE:	03/24/26
SCALE:	AS SHOWN
DESIGNED BY:	WTV
DRAWN BY:	WTV
CHECKED BY:	LCH

PHOTOMETRIC PLAN

PROJECT NO.		39364
DISCIPLINE		CIVIL
SHEET NAME		PHOTOMETRIC
SHEET	OF	
13	13	

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: April 8, 2026

RE: **P&Z 2026-9** **Select Medical
Cleveland Clinic Foundation
3025 Science Park Drive
Preliminary and Final Site Plan**



This request is for both preliminary and final site development plan approval for the construction of a parking lot addition and minor site improvements. The subject site is in the U-8A Office Building and Research District. The applicants propose to construct 20 additional parking spaces between the existing building and the South Woodland Road right-of-way. The proposed parking lot would comply with the front and side yard setbacks for parking in the U-8A District.

The applicants also propose to install a modular retaining wall on the south side of the existing building and to replace some existing pavers with a concrete walkway.

There are no zoning issues associated with this request. Both preliminary and final site development plan approval is recommended subject to any comments or recommendations of the City Engineer.

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: April 30, 2026

Report Date: April 09, 2026

To: Brian Roenigk
From: Joseph R. Ciuni P.E. P.S.
City Engineer

AGENDA ITEM - 6

P & Z 2026 -09 Bryan Wietrzykowski has requested preliminary and final site plan approval for a parking lot addition at 3025 Science Park Drive, Select Medical.

The Engineering Dept. has reviewed the plans (dated 03/24/2026) and hereby recommends preliminary and final site plan approval.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 04/07/2026
Re: P&Z # 2026-9 3025 Science Park (Parking lot)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 03/29/2026

OWNER OF BUILDING: Yeshiva Ahavas Hatorah PHONE: 216-965-5355

STREET ADDRESS: 14480 Summerfield Road

CITY/STATE/ZIP: University Heights, OH 44118

APPLICANT: Ben Grinblatt PHONE: 216-407-1480

COMPANY OR FIRM: BGAD LLC

EMAIL: bgad.archdesign@gmail.com

STREET ADDRESS: 25080 Penshurst Drive

CITY/STATE/ZIP: Beachwood, OH 44122

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

Ben Grinblatt - bgad.archdesign@gmail.com

DESCRIPTION OF THE PROPERTY:

ADDRESS: 2509 S Green Road SUITE # N/A

TENANT NAME: Yeshiva Ahavas Hatorah

PERMANENT PARCEL # 741 .09 .002 PRESENT USE: U-1 A-2 PROPOSED USE: U-5

PURPOSE OF APPLICATION: Lot consolidation submission in support of previous application for re-zoning, which received preliminary approval on May 5, 2025.

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other _____
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application. Please explain reason for variance (**must indicate a hardship**):

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. _____

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


SIGNATURE

Ben Grinblatt
PRINTED NAME

03.29.2026
DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____
Date

Final Approval: _____
Date

Recommendation to Council: YES NO Meeting Date: _____

 An official website of the Cuyahoga County government. Here's how you know



CUYAHOGA COUNTY, *Ohio*

MyPlace

Please be advised that the Fiscal Office identified a clerical error that was submitted to the State of Ohio. This error resulted in an incorrect tax rate calculation for Class II properties only (Commercial/ Industrial) for Tax Year 2024/Collection Year 2025. The Fiscal Office worked with the State of Ohio to correct the error. The correction will appear on tax bills due in February 2026 as an omitted tax.

THIS DOES NOT AFFECT RESIDENTIAL PROPERTY

For questions, please call 216-443-7420, Option 3 (Appraisal Department).

Search

City

Entire County

Search By

Owner

Parcel

Address

74109002 | YESHIVA AHAVAS HATORAH | 2509 GREEN RD | BEACHWOOD | 44122



View Map

PROPERTY DATA

General Information

Transfers

Values

Land

Building Information

Building Sketch

Other Improvements

Permits

Property Summary Report

TAXES

Tax By Year

Pay Your Taxes Online

LEGAL RECORDINGS

Get a Document List

ACTIVITY

[Informal Reviews](#)

[Board of Revisions Cases](#)

Primary Owner

YESHIVA AHAVAS HATORAH

Property Address

2509 GREEN RD BEACHWOOD,OH 44122

Tax Mailing Address

YESHIVA AHAVAS HATORAH 14480 SUMMERFIELD RD CLEVELAND, OH 44118

Description

18 FAIRGRN 0307 WP

Property Class

SINGLE FAMILY DWELLING

Parcel Number

741-09-002

Taxset

Beachwood

Tax Year

2025 Pay 2026 ▼

PAY BY E-CHECK OR CREDIT/DEBIT CARD

Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

Taxable Assessed Values

Land Value	\$20,090
Building Value	\$77,770
Total Value	\$97,860

First Half Year Charge Amounts

Gross Tax	\$5,955.27
Less 920 Reduction	\$3,235.69
Sub Total	\$2,719.58
Non-business Credit	\$204.22
Owner Occupancy Credit	\$.00
Homestead Reduction	\$.00
Total Assessments	\$45.00
Half Year Net Taxes	\$2,560.36

Taxable Market Values

Land Value	\$57,400
Building Value	\$222,200
Total Value	\$279,600

Second Half Year Charge Amounts

Gross Tax	\$5,955.27
Less 920 Reduction	<u>\$3,235.69</u>
Sub Total	\$2,719.58
Non-business Credit	\$204.22
Owner Occupancy Credit	\$.00
Homestead Reduction	\$.00
Total Assessments	<u>\$45.00</u>
Half Year Net Taxes	<u><u>\$2,560.36</u></u>

Flags

Owner Occupancy Credit	N
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	Y

Rates

Full Rate	121.71
920 Reduction Rate	.543333
Effective Rate	55.581001

Escrow

Escrow	N
Payment Amount	\$.00

Tax Balance Summary

Charges
\$21,648.51
 Payments
\$4,900.71
 Balance Due
\$16,747.80

2025 (pay in 2026) Charge and Payment Detail

Taxset	Charge Type	Charges	Payments	Balance Due
Beachwood				
	Prior year tax - 2024	\$1,317.77	\$.00	\$1,317.77
	Prior year tax - 2023	\$2,549.36	\$.00	\$2,549.36
	Prior year tax - 2022	\$5,040.82	\$3,436.09	\$1,604.73
	Prior year tax - 2021	\$554.50	\$554.50	\$.00
	Prior year penalty - 2024	\$131.78	\$.00	\$131.78

Prior year penalty - 2023	\$254.94	\$0.00	\$254.94
Prior year penalty - 2022	\$781.32	\$0.00	\$781.32
Prior year penalty - 2021	\$775.12	\$775.12	\$0.00
Prior year interest - 2024	\$1,648.07	\$0.00	\$1,648.07
Prior year interest - 2023	\$1,469.11	\$0.00	\$1,469.11
Prior year interest - 2022	\$231.13	\$0.00	\$231.13
Prior year September Interest - 2025	\$1,152.39	\$0.00	\$1,152.39
PRIOR BALANCE	\$15,906.31	\$4,765.71	\$11,140.60
1st half tax	\$2,515.36	\$45.00	\$2,470.36
1st half penalty	\$251.54	\$0.00	\$251.54
1ST HALF BALANCE	\$2,766.90	\$45.00	\$2,721.90
2nd half tax	\$2,515.36	\$0.00	\$2,515.36
2ND HALF BALANCE	\$2,515.36	\$0.00	\$2,515.36

C100030C-SEWER MAINTENANCE

Prior year tax - 2024	\$22.50	\$0.00	\$22.50
Prior year tax - 2023	\$22.50	\$0.00	\$22.50
Prior year tax - 2022	\$45.00	\$0.00	\$45.00
Prior year tax - 2021	\$45.00	\$45.00	\$0.00
Prior year penalty - 2023	\$4.50	\$0.00	\$4.50
Prior year interest - 2024	\$13.48	\$0.00	\$13.48
Prior year interest - 2023	\$11.42	\$0.00	\$11.42
Prior year interest - 2022	\$1.80	\$0.00	\$1.80
Prior year September Interest - 2025	\$12.94	\$0.00	\$12.94
PRIOR BALANCE	\$179.14	\$45.00	\$134.14
1st half tax - 2025	\$45.00	\$0.00	\$45.00
1ST HALF BALANCE	\$45.00	\$0.00	\$45.00
2nd half tax - 2025	\$45.00	\$0.00	\$45.00
2ND HALF BALANCE	\$45.00	\$0.00	\$45.00

C100030S-Sewer Maintenance

Prior year tax - 2024	\$22.50	\$0.00	\$22.50
Prior year tax - 2023	\$22.50	\$0.00	\$22.50
Prior year tax - 2022	\$45.00	\$0.00	\$45.00
Prior year tax - 2021	\$45.00	\$45.00	\$0.00
Prior year penalty - 2024	\$2.25	\$0.00	\$2.25
Prior year penalty - 2023	\$3.01	\$0.00	\$3.01
Prior year penalty - 2022	\$6.98	\$0.00	\$6.98
Prior year interest - 2024	\$14.55	\$0.00	\$14.55
Prior year interest - 2023	\$13.21	\$0.00	\$13.21
Prior year interest - 2022	\$2.08	\$0.00	\$2.08
Prior year September Interest - 2025	\$13.72	\$0.00	\$13.72
PRIOR BALANCE	\$190.80	\$45.00	\$145.80
1st half tax - 2025	\$0.00	\$0.00	\$0.00

	1ST HALF BALANCE	\$.00	\$.00	\$.00
		Charges	Payments	Balance Due
Total Balance		\$21,648.51	\$4,900.71	\$16,747.80
<div style="border: 1px solid black; padding: 5px; display: inline-block;"> PAY BY E-CHECK OR CREDIT/DEBIT CARD </div>				
<div style="display: flex; gap: 10px;"> <div style="border: 1px solid black; padding: 2px 10px; text-decoration: none; color: gray;">Top</div> <div style="border: 1px solid black; padding: 2px 10px; text-decoration: none; color: gray;">View Map</div> </div>				

Updated :03/27/2026 02:58:32 AM

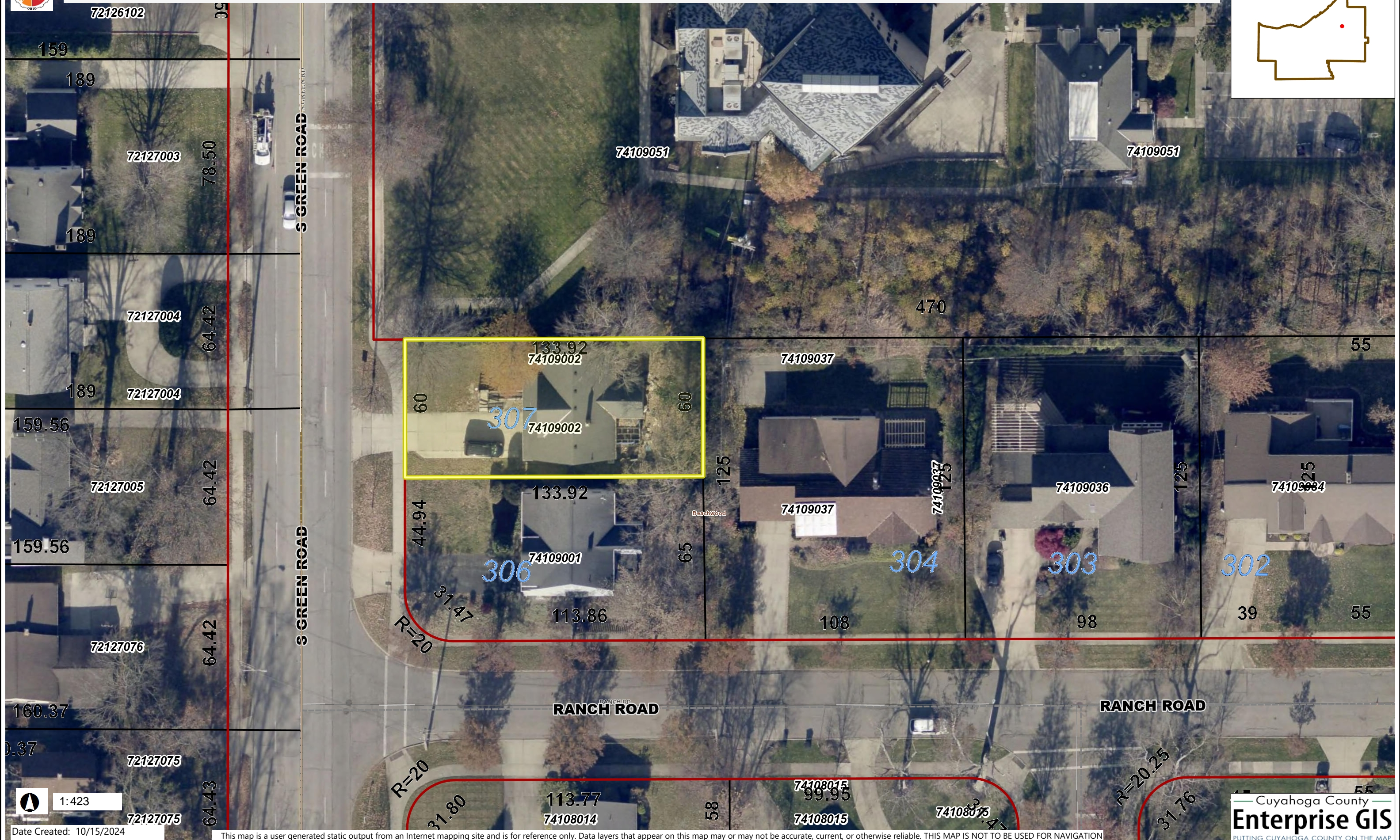
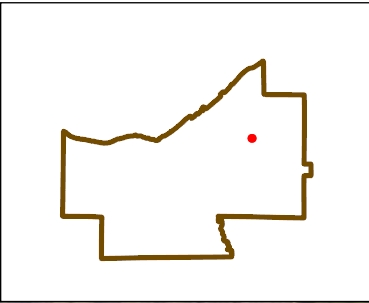
Disclaimer: Cuyahoga County provides this geographic data and related analytical results as a free public service on an "as is" basis. Cuyahoga County makes no guarantee(s) or warranty(ies) as to the accuracy, completeness, or timeliness of the information contained herein, and said information is not intended to, nor does it, constitute an official public record of Cuyahoga County. While much of the data contained herein is compiled from public records, the official records of the public office or agency from which they were compiled remains the official record of any such public office or agency. **By accessing, viewing or using any part of the site, you expressly acknowledge you have read, agree to and consent to be bound by all of the terms and conditions listed on this site. Routine maintenance is performed on Fridays and disruptions may occur. We apologize for any inconvenience.**

WATER DEPARTMENT OFFICIALS: AS OF JANUARY 1, 2021 PLEASE UTILIZE THE TRANSFER TAB ON THE MYPLACE SITE TO DETERMINE OWNERSHIP FOR CREATING OR CLOSING ACCOUNTS. PARCEL DATA ON PROPERTY TRANSFERS ARE UPDATED DAILY. THEREFORE, YOU CAN NOW RELY ON THIS SITE FOR ACCURATE REAL PROPERTY OWNERSHIP. YOU ARE ALSO WELCOME TO ACCEPT COPIES OF RECORDED DEEDS FROM OUR OFFICE.

THANK YOU



2509 & 2515 S Green Road



1:423

Date Created: 10/15/2024

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

OWNERS ACCEPTANCE

YESHIVA AHAVAS HATORAH, AN OHIO NON-PROFIT CORPORATION THE UNDERSIGNED OWNER OF THE LAND SHOWN HEREON, DOES HEREBY ACCEPT THIS PLAT OF CONSOLIDATION AS SHOWN.

BY: _____ TITLE _____

PRINT NAME _____

COUNTY OF CUYAHOGA)
STATE OF OHIO) SS

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED YESHIVA AHAVAS HATORAH, BY _____ WHO ACKNOWLEDGED THAT THEY DID SIGN THE FOREGOING INSTRUMENT, AND THAT THE SAME WAS THEIR FREE ACT AND DEED AND THE FREE ACT AND DEED OF SAID CORPORATION. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT _____ OHIO, THIS _____ DAY OF _____, 2025.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

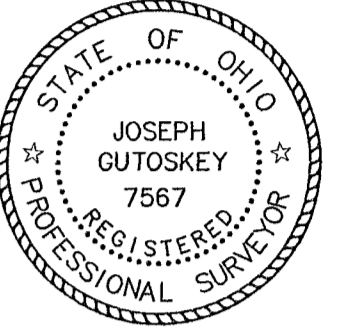
PLAT OF CONSOLIDATION
FOR
YESHIVA AHAVAS HATORAH

SITUATED IN THE CITY OF BEACHWOOD, COUNTY OF CUYAHOGA AND STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL WARRENSVILLE TOWNSHIP LOT NO. 18 AND FURTHER KNOWN AS BEING PART OF SUBLOTS 306 AND 307 IN THE FAIRMOUNT GREENS SUBDIVISION AS RECORDED IN VOLUME 102, PAGE 10 OF CUYAHOGA COUNTY MAP RECORDS.

APRIL, 2025

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733.37 OF THE OHIO ADMINISTRATIVE CODE. DIMENSIONS EXPRESSED ARE BASED ON THE US SURVEY FOOT AND ARE IN FEET AND DECIMAL PARTS THEREOF. BEARINGS ARE BASED ON OHIO STATE PLANE COORDINATES, NORTH ZONE 3401, NAD83 (CORS 2012A) ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE.

Joseph Gutoskey
JOSEPH GUTOSKEY, P.S. No. 7567 DATE



APPROVALS

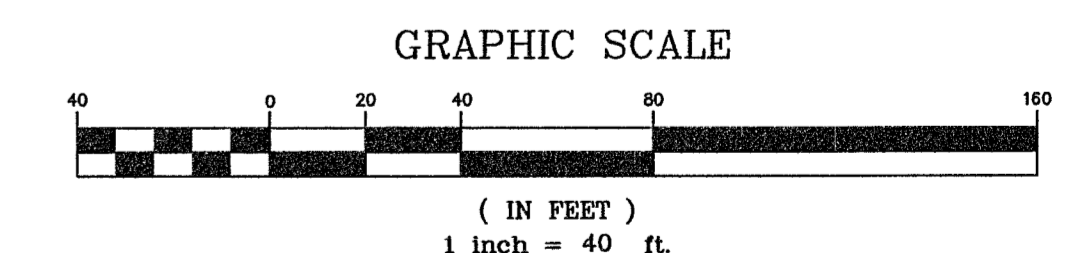
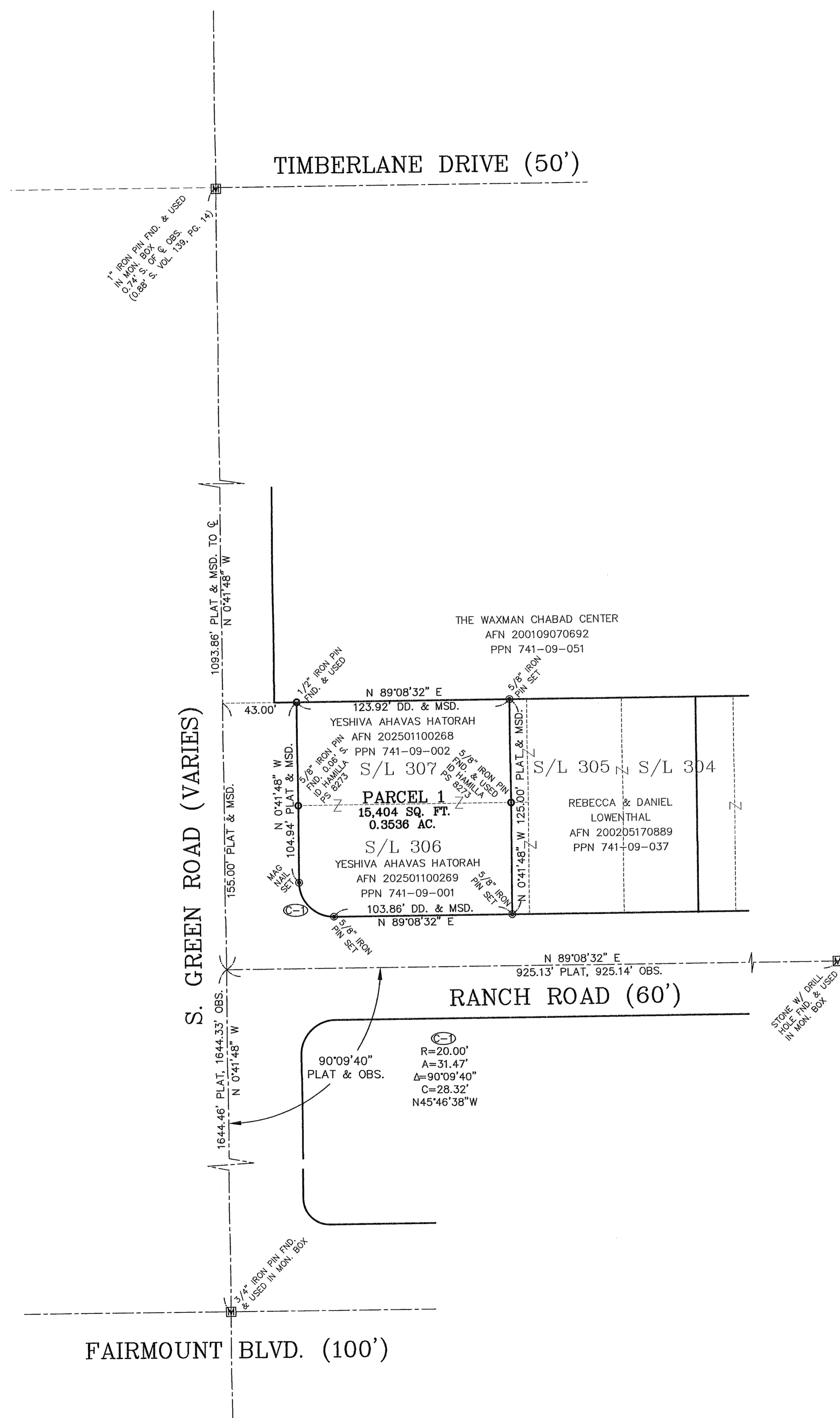
THIS PLAT OF LOT SPLIT IS ACCEPTED AND APPROVED BY THE PLANNING COMMISSION OF THE CITY OF BEACHWOOD, OHIO THIS _____ DAY OF _____, 20____.

CHAIRMAN _____ PRINT NAME _____

SECRETARY _____ PRINT NAME _____

THIS PLAT OF LOT SPLIT IS ACCEPTED AND APPROVED BY THE CITY ENGINEER OF THE CITY OF BEACHWOOD, OHIO THIS _____ DAY OF _____, 20____.

JOSEPH R. CIUNI PE PS CITY ENGINEER



- LEGEND
- IRON PIN/PIPE/MON. FOUND (AS NOTED)
 - ⊙ 5/8" DIA. BY 30" LONG CAPPED IRON PIN SET I.D. GUTOSKEY PS 7567
 - ☒ MONUMENT BOX (AS NOTED)

REFERENCES:
DEEDS AND PLATS AS SHOWN HEREON.

GUTOSKEY & ASSOCIATES INC.
 Civil Engineers, Surveyors and Land Planners
 10135 GOTTSCHALK PARKWAY SUITE 4 CHAGRIN FALLS, OHIO 44023
 Tel (440) 543-6900
 JOEGUTOSKEY@GUTOSKEY.COM

CONTRACT No. 25-4174

Tactical Planning, LLC

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: April 8, 2026

RE: **P&Z 2026-10** **BGAD, LLC**
Yeshiva Ahavas Hatorah
2509 & 2515 South Green Road
Lot Consolidation Plat



This request is for approval of a lot consolidation plat for the two lots at the corner of Green Road and Ranch Road that were recently rezoned to U-5 Public and Institutional District to accommodate a new place of worship. The resulting parcel will contain 15,404 square feet with frontage on both streets. Consolidation of these two parcels was a requirement of the rezoning.

Approval of the lot consolidation plat is recommended subject to any comments or recommendations of the City Engineer.

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: April 30, 2026

Report Date: April 09, 2026

To: Brian Roenigk
From: Joseph R. Ciuni P.E. P.S.
City Engineer

AGENDA ITEM - 7

P & Z 2026 -10

Ben Grinblatt has requested preliminary and final approval for lot consolidation of PPN 741-09-002, 2509 South Green Road, and PPN 741-09-001, 2515 South Green Road.

The Engineering Dept. has reviewed the Lot Consolidation, and it meets all City and County Standards. We hereby recommend preliminary and final approval.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 04/07/2026
Re: P&Z # 2026-10 2509 & 2525 South Green (Lot Consolidation)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief

PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 4/1/26

OWNER OF BUILDING: JAMES HOLLOWAY PHONE: 4404651676

STREET ADDRESS: 24430 SHAKER BOULEVARD

CITY/STATE/ZIP: BEACHWOOD OHIO 44122

APPLICANT: WILLIAM LEONETTI PHONE: 4408403322

COMPANY OR FIRM: C.V.C CORNERSTONE LLC

EMAIL: WLEONETTI78@GMAIL.COM

STREET ADDRESS: 58 PHILOMETHIAN STREET

CITY/STATE/ZIP: CHAGRIN FALLS OHIO 44022

PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):

WILLIAM LEONETTI - WLEONETTI78@GMAIL.COM

JAMES HOLLOWAY - ED ZIERNICK - edzhomes6838@gmail.com

DESCRIPTION OF THE PROPERTY:

ADDRESS: 24430 SHAKER BOULEVARD SUITE #

TENANT NAME: JAMES HOLLOWAY

PERMANENT PARCEL # - - PRESENT USE: SUNDECK PROPOSED USE: SUNROOM

PURPOSE OF APPLICATION: ADDING A SUNROOM

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (**must indicate a hardship**):

Home owners have health concerns.

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain.

Planning & Zoning Submission Requirements:

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor’s GIS website or Google Earth).
- Attach copy of the Auditor’s Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

Planning & Zoning Submission Filing Fees & Deposits:

***IMPORTANT NOTE: The City of Beachwood will never request wire transfers via email. Any fees or approvals will only be communicated through official city channels.**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder’s Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder’s Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


William Leonetti
4/1/2026

 SIGNATURE PRINTED NAME DATE

*****OFFICE USE ONLY*****

PLANNING & ZONING COMMISSION - P&Z No. _____ MEETING DATE: _____

FEE: RECEIPT # _____ AMOUNT \$ _____ DATE PAID _____

Preliminary Approval: _____ Date Final Approval: _____ Date

Recommendation to Council: YES NO Meeting Date: _____



CUYAHOGA COUNTY, *Ohio*

MyPlace

Please be advised that the Fiscal Office identified a clerical error that was submitted to the State of Ohio. This error resulted in an incorrect tax rate calculation for Class II properties only (Commercial/ Industrial) for Tax Year 2024/Collection Year 2025. The Fiscal Office worked with the State of Ohio to correct the error. The correction will appear on tax bills due in February 2026 as an omitted tax.

THIS DOES NOT AFFECT RESIDENTIAL PROPERTY

For questions, please call 216-443-7420, Option 3 (Appraisal Department).

Search

City ▼

Search By Owner Parcel Address

PROPERTY DATA

[General Information](#)

[Transfers](#)

[Values](#)

[Land](#)

[Building Information](#)

[Building Sketch](#)

[Other Improvements](#)

[Permits](#)

[Property Summary Report](#)

TAXES

[Tax By Year](#)

[Pay Your Taxes Online](#)

LEGAL RECORDINGS

[Get a Document List](#)

ACTIVITY

Informal Reviews

Board of Revisions Cases

Primary Owner

HOLLOWAY, CATHERINE A. & JAMES L. JR.

Property Address

24430 SHAKER BLVD BEACHWOOD, OH 44122

Tax Mailing Address

HOLLOWAY, CATHERINE A. 24430 SHAKER Blvd BEACHWOOD, OH 44122

Description

39 VANS 45 0890 ALL

Property Class

SINGLE FAMILY DWELLING

Parcel Number

742-01-004

Taxset

Beachwood

Tax Year

2025 Pay 2026 ▼

Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

Taxable Assessed Values

Land Value	\$29,610
Building Value	\$78,510
Total Value	<u>\$108,120</u>

First Half Year Charge Amounts

Gross Tax	\$6,579.64
Less 920 Reduction	\$3,574.93
Sub Total	\$3,004.71
Non-business Credit	\$225.63
Owner Occupancy Credit	\$56.41
Homestead Reduction	\$255.60
Total Assessments	<u>\$75.00</u>
Half Year Net Taxes	<u>\$2,542.07</u>

Taxable Market Values

Land Value	\$84,600
Building Value	\$224,300
Total Value	<u>\$308,900</u>

Second Half Year Charge Amounts

Gross Tax	\$6,579.64
Less 920 Reduction	<u>\$3,574.93</u>
Sub Total	\$3,004.71
Non-business Credit	\$225.63
Owner Occupancy Credit	\$56.41
Homestead Reduction	\$255.60
Total Assessments	<u>\$75.00</u>
Half Year Net Taxes	<u><u>\$2,542.07</u></u>

Flags

Owner Occupancy Credit	Y
Homestead Reduction	Y
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Rates

Full Rate	121.71
920 Reduction Rate	.543333
Effective Rate	55.581001

Escrow

Escrow	N
Payment Amount	\$.00

Tax Balance Summary

Charges

\$5,637.41

Payments

\$5,637.41

Balance Due

\$.00

2025 (pay in 2026) Charge and Payment Detail

Taxset	Charge Type	Charges	Payments	Balance Due
Beachwood				
	Prior year tax - 2024	\$478.27	\$478.27	\$.00
	PRIOR BALANCE	\$478.27	\$478.27	\$.00
	1st half tax	\$2,467.07	\$2,467.07	\$.00
	1ST HALF BALANCE	\$2,467.07	\$2,467.07	\$.00
	2nd half tax	\$2,467.07	\$2,467.07	\$.00
	2ND HALF BALANCE	\$2,467.07	\$2,467.07	\$.00

C100030C-SEWER MAINTENANCE

Prior year tax - 2024	\$37.50	\$37.50	\$.00
PRIOR BALANCE	\$37.50	\$37.50	\$.00
1st half tax - 2025	\$75.00	\$75.00	\$.00
1ST HALF BALANCE	\$75.00	\$75.00	\$.00
2nd half tax - 2025	\$75.00	\$75.00	\$.00
2ND HALF BALANCE	\$75.00	\$75.00	\$.00

C100030S-Sewer Maintenance

Prior year tax - 2024	\$37.50	\$37.50	\$.00
PRIOR BALANCE	\$37.50	\$37.50	\$.00
1st half tax - 2025	\$.00	\$.00	\$.00
1ST HALF BALANCE	\$.00	\$.00	\$.00

	Charges	Payments	Balance Due
Total Balance	\$5,637.41	\$5,637.41	\$.00

[Top](#) [View Map](#)

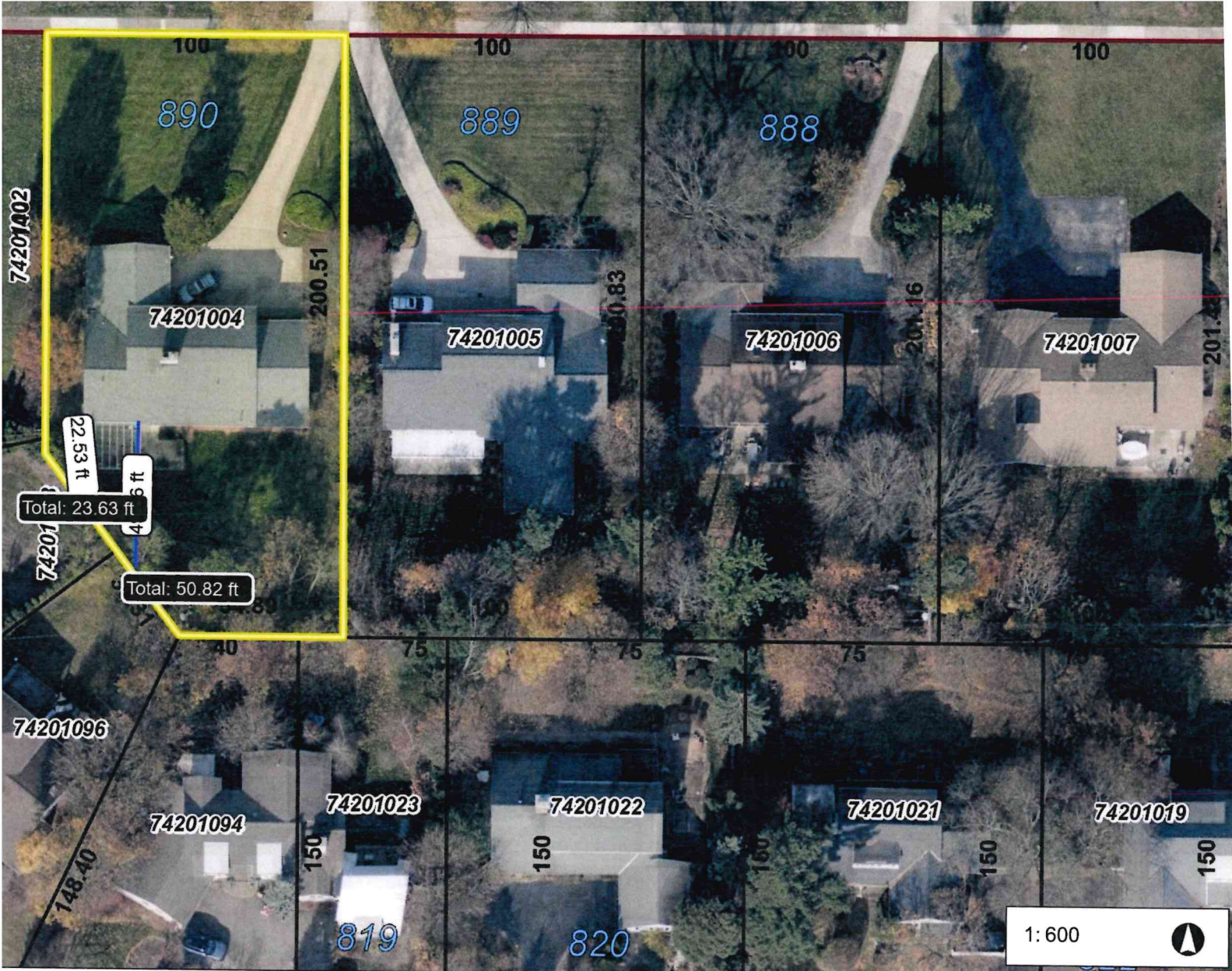
Updated :04/02/2026 02:58:44 AM

Disclaimer: Cuyahoga County provides this geographic data and related analytical results as a free public service on an "as is" basis. Cuyahoga County makes no guarantee(s) or warranty(ies) as to the accuracy, completeness, or timeliness of the information contained herein, and said information is not intended to, nor does it, constitute an official public record of Cuyahoga County. While much of the data contained herein is compiled from public records, the official records of the public office or agency from which they were compiled remains the official record of any such public office or agency. **By accessing, viewing or using any part of the site, you expressly**

acknowledge you have read, agree to and consent to be bound by all of the terms and conditions listed on this site. Routine maintenance is performed on Fridays and disruptions may occur. We apologize for any inconvenience

WATER DEPARTMENT OFFICIALS: AS OF JANUARY 1, 2021 PLEASE UTILIZE THE TRANSFER TAB ON THE MYPLA SITE TO DETERMINE OWNERSHIP FOR CREATING OR CLOSING ACCOUNTS. PARCEL DATA ON PROPERTY TRANSFERS ARE UPDATED DAILY. THEREFORE, YOU CAN NOW RELY ON THIS SITE FOR ACCURATE REAL PROPERTY OWNERSHIP. YOU ARE ALSO WELCOME TO ACCEPT COPIES OF RECORDED DEEDS FROM OUR OFFICE.

THANK YOU



22.53 ft
4.5 ft
Total: 23.63 ft

Total: 50.82 ft

1: 600

100 0 50 100 Feet

Projection:
NGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Residential Calculations

Date: 04/01/2026

Address: 24430 Shaker Blvd. – Sunroom Addition

Lot Information: 100.00' x 192.00'

Total square foot of Lot Area: 19,200.00'

Building Setback Line: BCO 1113.06 (a) (b) (c)

Distance of building line back from the right of way shall be 20% of the depth or 35' whichever is greater.

Required: 38.40'

Proposed: No Change

Rear Yard: BCO 1113.08 (a)

30% of Average depth, but such least dimension need not be more than forty feet. (40')

Required: 40.00'

Proposed: East corner of sunroom; 35.00' West corner of sunroom; 9.00'

Variance: 5.00' East corner; 31.00' West corner

Side Yards: BCO 1113.07 Table

Required: 28.00' Combined; 14.00' Minimum

Proposed: No change









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COMMENTS / REVISIONS	3.	4.	5.
1.			
2.			

CLIENT/LOCATION

PROJECT:

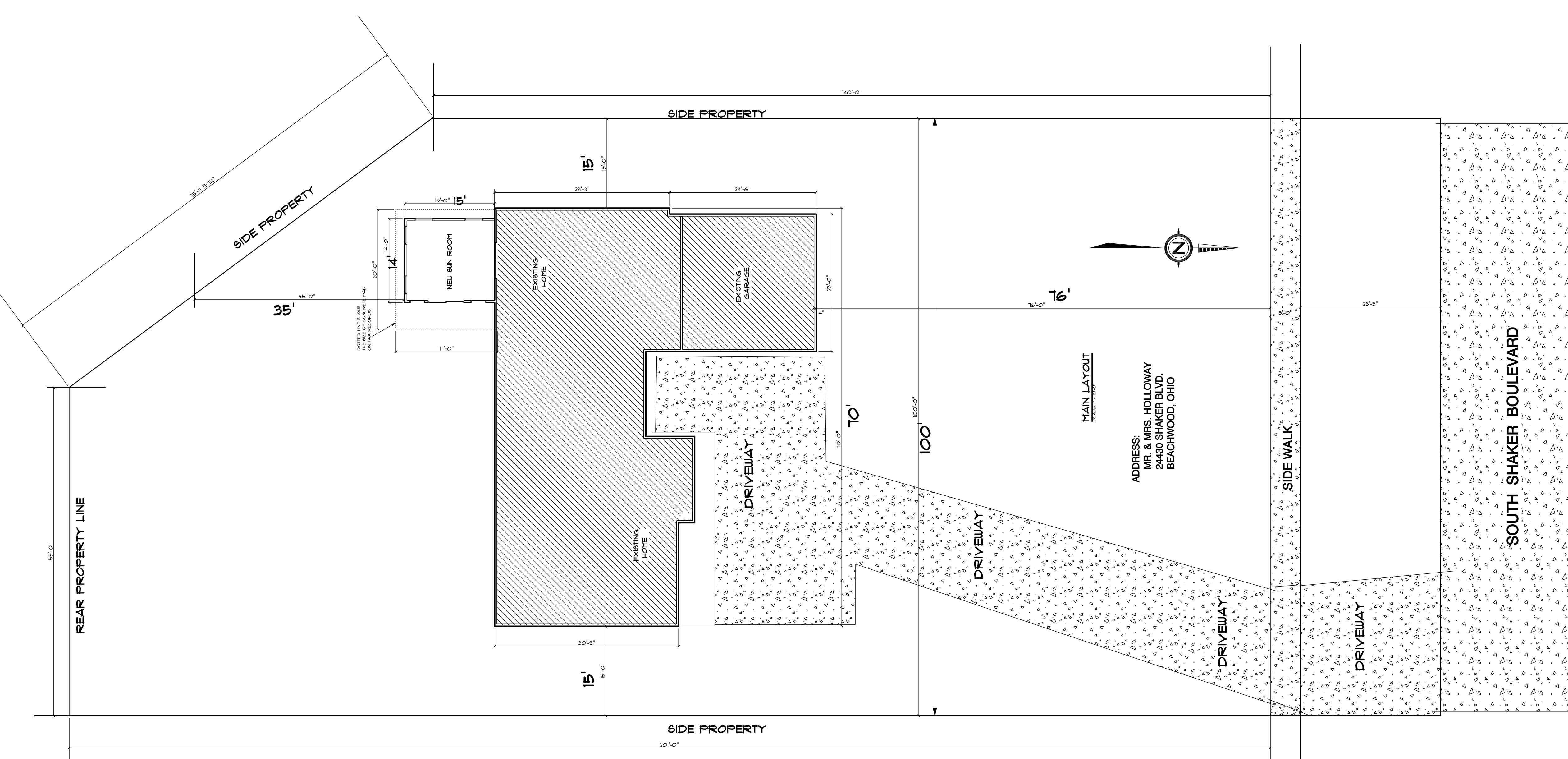
CONTRACTOR:

PLAN NAME

DATE PRINTED

FOLLOW CURRENT CODES OF OHIO

PAGE OF



NOTE: LIST OF ITEMS SUPPLIED BY OTHERS

- ENERGY CODE COMPLIANCE SHEETS
- MECHANICALS HVAC, PLUMBING ISOMETRIC DRAWINGS
- PROPERTY SURVEY OR SITE PLAN
- DETAIL ON FRAMING, AND FASTNERS FOR TRUSS PACKAGE
- DETAIL ON MATERIAL, COLORS & TRIM SELECTIONS
- SMOKE AND FIRE ALARM SYSTEM.

NOTE:

THESE PLANS ARE INTENDED TO SHOW GENERAL DESIGN. ANY STRUCTURAL DESIGN CHANGES TO DRAWINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR HOMEOWNERS. LUMBER SPAN CHARTS SHOULD BE REFERRED TO IN CHOOSING SIZING OF LUMBER AND SPECIES OF LUMBER. THE DEPTH AND SIZE OF FOUNDATION WALLS OR FOOTERS AND BEAMS ARE ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND/OR HOMEOWNERS IF CHANGED. ALL CITY/STATE CODES SHOULD BE FOLLOWED. ANY ROOF WITH LESS THAN A 3/12 PITCH MAY HAVE POTENTIAL WATER PROBLEMS.

PROPERTY LINES MUST BE SURVEYED PRIOR TO EXCAVATION OF FOUNDATION.

BECAUSE OF THE IMPOSSIBILITY OF PROVIDING ANY DIRECT SUPERVISION OR CONTROL OVER THE CONSTRUCTION OF THIS BUILDING, THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES, INCLUDING STRUCTURAL FAILURES, DUE TO ANY DEFICIENCIES, OMISSIONS, OR ERRORS OR FOR THE IMPROPER INSTALLATION OF MATERIAL, IN THE EXECUTION OF THE DESIGN DUE TO VARIATION LUMBER GRADES AND ENGINEERED LUMBER.

THESE PLANS SHALL BE PROVIDED TO A COMPETENT LUMBER SUPPLIER FOR FINAL ORDERING OF ALL MATERIAL, BEFORE ORDERING LUMBER CHECK FOUNDATION REQUIREMENTS.

PLEASE NOTE:
Room alterations are noted & may vary due to the installation of plumbing, heating & electrical services. In addition, the location of electrical outlets, switches & lights may vary, but will be installed according to applicable building codes. Cabinet sizes are approved. Buyer understands that while the plans they are approving are correct, the Builder reserves the right to make any necessary field adjustments to correct any discrepancies in the plans.

Signature _____ Date _____
Signature _____ Date _____

P.O. Box 3163
Cuyahoga Falls, Ohio 44223
Ph: 440-725-1886
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: April 8, 2026

RE: **P&Z 2026-11 CVC Cornerstone, LLC**
James Holloway
24430 Shaker Boulevard
Rear Setback Variance



This request is for approval of a rear yard setback variance to accommodate a proposed sunroom addition on the rear of the existing dwelling. The subject site is located in the U-1 Single Family Residential District. The Code requires a rear yard setback of 40 feet on the subject site. The applicant is proposing an addition that would extend to within 9 feet of the rear lot line on one corner.

The subject site is oddly shaped with a rear lot line that breaks and extends at an angle to the rear of the dwelling. The shape of the lot severely restricts the usability of the western portion of the rear yard. The sharp angle of the rear lot line places the southwest corner of the proposed sunroom 9 feet from the rear lot line, while the southeast corner of the addition is 35 feet from the rear line.

The practical difficulty arises from the shape of the lot and the severe angle of the rear lot line. The size of the sunroom represents a very small portion of the required rear yard.

Should the Commission determine to grant the variance, the following findings and stipulations are recommended:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section 1113.08(a) with regard to the minimum required rear yard setback.
2. Granting a variance of 31 feet to Section 1113.08(a) to permit the sunroom addition to be located 9 feet from the rear lot line in lieu of the Code required 40 feet.

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: April 30, 2026

Report Date: April 09, 2026

To: Brian Roenigk
From: Joseph R. Ciuni P.E. P.S.
City Engineer

AGENDA ITEM - 8

P & Z 2026 -11

William Leonetti has requested a 5' East corner and a 31' West corner rear yard variance for a sunroom addition at 24430 Shaker Blvd., in accordance with BCO Section 1113.08(a), Rear Yards.

The Engineering Dept. has no objections to this request.

Fire Prevention Bureau

P&Z Report

To: Planning and Zoning Commission
From: Matthew Domonkos, Assistant Chief
Date: 04/07/2026
Re: P&Z # 2026-11 24430 Shaker Blvd.(Variance)

The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

Matthew Domonkos

Matthew Domonkos
Assistant Fire Chief