

# CITY OF *Beachwood*

**Beachwood Planning and Zoning Commission Meeting  
Thursday, March 26, 2026, 6:30 PM  
at Beachwood City Hall, Council Chambers,  
25325 Fairmount Boulevard, Beachwood, Ohio 44122**

## **Amended Agenda**

### **New Business**

#### **Agenda Items**

1. Roll Call
2. Approval of Minutes of the December 11, 2025, Planning and Zoning Commission Meeting  
Approval of Minutes of the February 26, 2026, Planning and Zoning Commission Meeting
3. Council Report
4. Citizen's Remarks
5. Planning and Zoning Commission  
**2026-5** Rebecca Fertel has requested an 8.1' rear yard setback variance for an addition at 2373 Beachwood Blvd., in accordance with BCO Section 1113.08(a), Rear Yards.
6. Planning and Zoning Commission  
**2026-6** Grant Passell has requested approval of a conditional use permit for a dog daycare to be located at 24619 Chagrin Blvd.

**PLANNING & ZONING APPLICATION**

**Form must be completed or will not be processed**

APPLICATION DATE: 2/13/2026

OWNER OF BUILDING: Steven Schwartz and Andreia Brunstein PHONE: 561-289-7608

STREET ADDRESS: 2373 Beachwood Boulevard

CITY/STATE/ZIP: Beachwood Ohio 44122

APPLICANT: Rebecca Fertel PHONE: 845-352-0086

COMPANY OR FIRM: Rebecca Fertel Architect

EMAIL: rivky@fertelarch.com

STREET ADDRESS: 3429 Blanche Avenue

CITY/STATE/ZIP: Cleveland Heights, Ohio 44118

**PRESENTER(S) TO APPEAR AT THE P&Z MEETING (include name & email address):**

Rebecca Fertel rivky@fertelarch.com

Steve Schwartz SCHWARS5@ccf.org, Andreia Schwartz abrunstein76@gmail.com

**DESCRIPTION OF THE PROPERTY:**

ADDRESS: 2373 Beachwood Boulevard, Single family Residence SUITE #

TENANT NAME:

PERMANENT PARCEL # 741 \_10 \_003 PRESENT USE: u1 PROPOSED USE: u1

PURPOSE OF APPLICATION: to vary the rear yard setback to be less than 40 feet for a proposed addition

**NATURE OF THE REQUEST (check as many as apply):**

- Preliminary site plan approval
- Final site plan approval
- Lot split
- Lot consolidation
- Conditional use permit
- Rezoning
- Zoning text amendment
- Other
- Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (**must indicate a hardship**):

see provided narrative

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. the project applied for a similar rear yard setback variance in october of 2020 but did not complete the project

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	<b>\$300.00</b>
(2)	All other Zoning Districts for site development plan review (new building/addition)	<b>\$5,000.00</b>
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	<b>\$1,500.00</b>
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	<b>\$750.00</b>
(5)	Map Amendment	<b>\$2,500.00</b>

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.


ANDREIA BRUNSTEIN
FEB 17, 2026  
 \_\_\_\_\_  
 SIGNATURE PRINTED NAME DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_ Date \_\_\_\_\_ Final Approval: \_\_\_\_\_ Date \_\_\_\_\_

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_



# CUYAHOGA COUNTY, *Ohio*

## MyPlace

**Please be advised that the Fiscal Office identified a clerical error that was submitted to the State of Ohio. This error resulted in an incorrect tax rate calculation for Class II properties only (Commercial/ Industrial) for Tax Year 2024/Collection Year 2025. The Fiscal Office worked with the State of Ohio to correct the error. The correction will appear on tax bills due in February 2026 as an omitted tax.**

**\*THIS DOES NOT AFFECT RESIDENTIAL PROPERTY\***

**For questions, please call 216-443-7420, Option 3 (Appraisal Department).**

Search

City

Search By  Owner  Parcel  Address

[View Map](#)

### PROPERTY DATA

- [General Information](#)
- [Transfers](#)
- [Values](#)
- [Land](#)
- [Building Information](#)
- [Building Sketch](#)
- [Other Improvements](#)
- [Permits](#)
- [Property Summary Report](#)

### TAXES

- [Tax By Year](#)
- [Pay Your Taxes Online](#)

### LEGAL RECORDINGS

- [Get a Document List](#)

## ACTIVITY

Informal Reviews

Board of Revisions Cases

### Primary Owner

SCHWARTZ STEVEN & BRUNSTEIN ANDREIA

### Property Address

2375 Beachwood BLVD Beachwood, OH 44122

### Tax Mailing Address

SCHWARTZ STEVEN 2373 BEACHWOOD BLVD BEACHWOOD, OH 44122

### Description

8 GREENL 0023 NP

### Property Class

SINGLE FAMILY DWELLING

### Parcel Number

741-11-003

### Taxset

Beachwood

### Tax Year

2025 Pay 2026 ▼

PAY BY E-CHECK OR CREDIT/DEBIT CARD

## Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

### Taxable Assessed Values

Land Value	\$31,710
Building Value	\$126,880
Total Value	\$158,590

### First Half Year Charge Amounts

Gross Tax	\$9,650.99
Less 920 Reduction	\$5,243.70
Sub Total	\$4,407.29
Non-business Credit	\$330.96
Owner Occupancy Credit	\$82.74
Homestead Reduction	\$.00
Total Assessments	\$55.01
Half Year Net Taxes	\$4,048.60

### Taxable Market Values

Land Value	\$90,600
Building Value	\$362,500
Total Value	\$453,100

Second Half Year Charge Amounts

Gross Tax	\$9,650.99
Less 920 Reduction	<u>\$5,243.70</u>
Sub Total	\$4,407.29
Non-business Credit	\$330.96
Owner Occupancy Credit	\$82.74
Homestead Reduction	\$ .00
Total Assessments	<u>\$55.00</u>
Half Year Net Taxes	<u><u>\$4,048.59</u></u>

Flags

Owner Occupancy Credit	Y
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Rates

Full Rate	121.71
920 Reduction Rate	.543333
Effective Rate	55.581001

Escrow

Escrow	N
Payment Amount	\$.00

Tax Balance Summary

Charges

**\$8,097.19**

Payments

**\$4,048.60**

Balance Due

**\$4,048.59**

**2025 (pay in 2026) Charge and Payment Detail**

Taxset	Charge Type	Charges	Payments	Balance Due
<b>Beachwood</b>				
	1st half tax	\$3,993.59	\$3,993.59	\$ .00
	1ST HALF BALANCE	\$3,993.59	\$3,993.59	\$ .00
	2nd half tax	\$3,993.59	\$ .00	\$3,993.59
	2ND HALF BALANCE	\$3,993.59	\$ .00	\$3,993.59
<b>C100030C-SEWER MAINTENANCE</b>				
	1st half tax - 2025	\$55.01	\$55.01	\$ .00



Permanent 741-11-003  
Parcel #:

Type Instrument: Warranty Deed  
Tax District #: 3020

Date: 9/2/2016 3:09:00 PM  
Tax List Year: 2016  
Land Use Code: 5100  
Land Value: 72,300  
Building Value: 193,700  
Total Value: 266,000  
Arms Length Sale: UNKNW  
Rcpt: D-09022016-31  
Inst #: 769808  
Check #: 0004

CUYAHOGA COUNTY  
OFFICE OF FISCAL OFFICER - 2  
DEED 9/2/2016 3:25:34 PM  
**201609020841**

Grantee: SCHWARTZ STEVEN & BRUN  
Balance Assumed: \$ 0.00  
Total Consideration: \$ 410,000.00  
Conv. Fee Paid: \$ 1,640.00  
Transfer Fee Paid: \$ 0.50  
Fee Paid by: GREATER CLEVELAND  
Exempt Code:

Cuyahoga County Fiscal Officer

## WARRANTY DEED

*L.H. Luiza*  
KNOW ALL MEN BY THESE PRESENTS that **GEORGE HOLLENDER, AND LUISA HOLLENDER, HUSBAND AND WIFE** (collectively "Grantor"), claiming title by or through Instrument Number Volume 89-3487, Page 9 of the Deed Records of Cuyahoga County, Ohio for valuable consideration thereunto given from **STEVEN SCHWARTZ AND ANDREA BRUNSTEIN** (collectively "Grantee"), whose tax mailing address will be 2373 Beachwood Blvd, Beachwood, OH, 44122, does

**GIVE, GRANT, BARGAIN, SELL AND CONVEY** unto the said Grantee, his/her/their/its heirs, successors and assigns, the following described premises:

Situated in the City of Beachwood, County of Cuyahoga and State of Ohio:

And known as being part of Sublot No. 23 in The Heister-Greenlawn Company's Greenlawn Subdivision, of part of Original Warrensville Township Lot No. 8, as shown by the recorded plat in Volume 84 of Maps, Page 34 of Cuyahoga County Records, and being a parcel of land 57-666/1000 feet front on the Easterly side of Beachwood Boulevard, 31-35/100 feet frontage on the curved turnout between the Easterly line of Beachwood Boulevard and the Southerly line of Wendover Drive, (formerly Isabelle Avenue) 122-23/100 feet deep on the Southerly line, of Wendover Drive, 142-44/100 feet deep on the Southerly line, and 77-666/1000 feet wide in the rear line, be the same more or less.

Also known as 2373 Beachwood Blvd, Beachwood, OH, 44122

Parcel Number: 741-11-003

**TO HAVE AND TO HOLD** the above premises, with the appurtenances thereunto belonging, unto the said Grantee, his/her/its/their heirs, successors and assigns forever.

**AND THE SAID GRANTOR**, for himself/herself/themselves/itself and his/her/their/its successors and assigns, hereby covenants with the said Grantee, his/her/their/its heirs, successors and assigns, that said Grantor is well seized of the same in **FEE SIMPLE**, and has good right and full power to bargain, sell and convey the same in the manner of aforesaid, and that the same is **free from all encumbrances whatsoever**, except restrictions, conditions, reservations, and easements of record, zoning ordinances, if any, and taxes and assessments prorated to the date of transfer, and that said Grantor will **Warrant and Defend** said premises, with the appurtenances thereunto belonging, to the said Grantee, his/her/their/its heirs, successors and assigns, against all lawful claims and demands whatsoever.

The Grantor has/have hereunto executed this deed this 29 day of Aug, 2016.

*George Hollender*  
George Hollender

*L.H. Luiza*  
*Luisa Hollender*  
Luisa Hollender

This Legal Description Complies with  
The Cuyahoga County Transfer and  
Conveyance Standards and is approved  
for transfer.

SEP 02 2016

*AS*  
Agent

STATE OF OHIO

)  
) SS  
)

COUNTY OF CUYAHOGA

BEFORE ME a notary public in and for said county and state, personally appeared the above-named **George Hollender and ~~Lisa~~ Lisa Hollender**, who acknowledged that he/she/it/they did sign the foregoing instrument and that the same is his/her/its/their free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal at Beachwood, Ohio this 29 day of Aug, 2016.



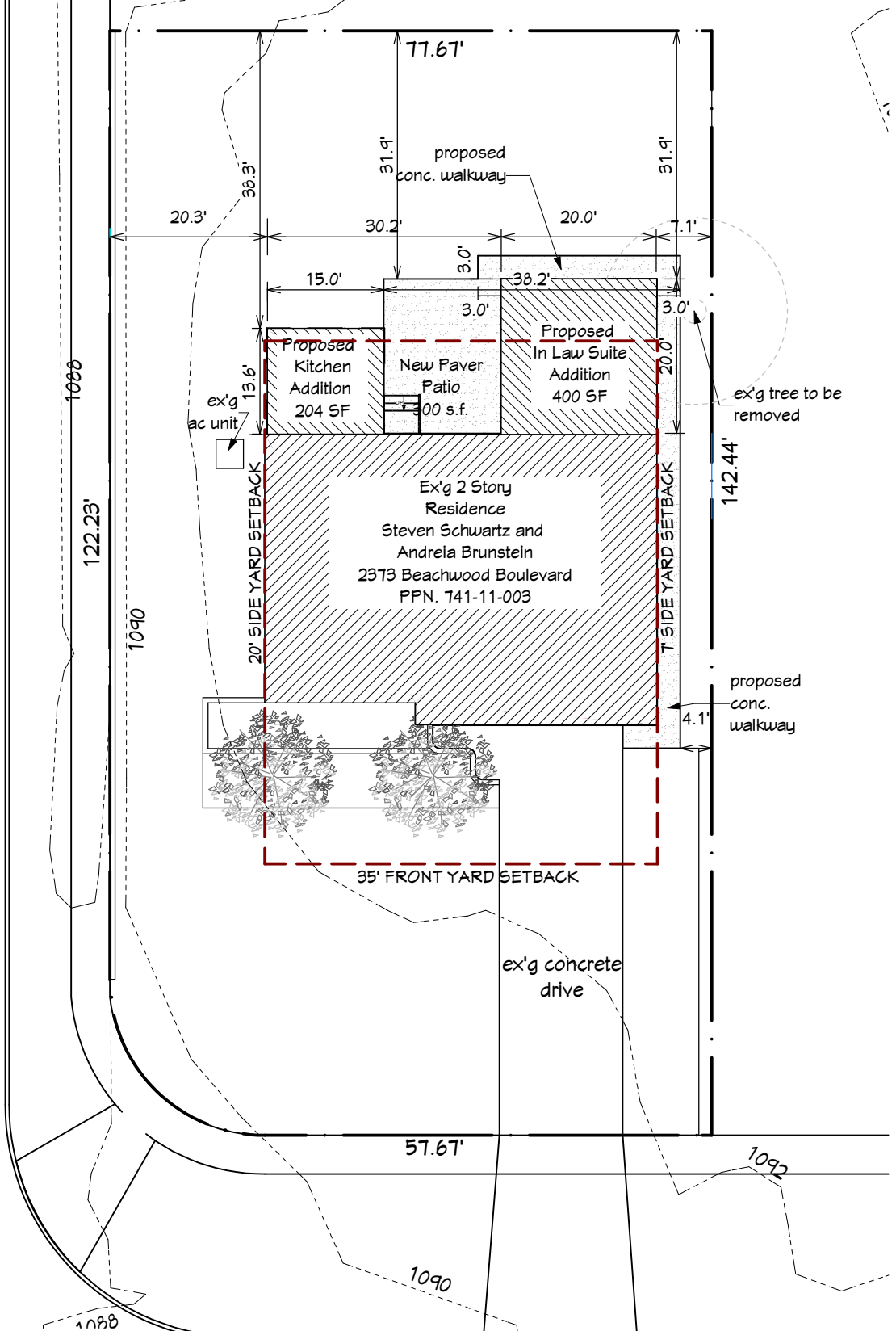
STEPHEN MEGYESI  
NOTARY PUBLIC  
STATE OF OHIO  
Comm. Expires  
October 01, 2017  
Recorded in  
Lake County

Notary Public

This instrument prepared by:  
Witschey Witschey & Firestine Co., LPA - David L. Firestine, Esq.  
405 Rothrock Rd. Suite 103 - Akron, Ohio 44321 - (330) 665-5117  
WWF-GWD-2650



WENDOVER DRIVE 50'



1  
A-1

Site Plan  
1 in = 20 ft

BEACHWOOD BLVD 80'

Additions and Renovations to

**REBECCA FERTEL, ARCHITECT**  
ARCHITECTURE \* PLANNING  
DESIGN \* IMPLEMENTATION  
3429 Blanche Avenue  
Cleveland Heights, OH 44118  
(845)352-0086  
rfertel@gmail.com

**Schwartz Residence**  
2373 Beachwood Blvd, Beachwood, OH 44122  
  
**Site Plan**

Drawn by RF	Job number 2031
Issued for 2/13/2026 BZA	
Drawing number	

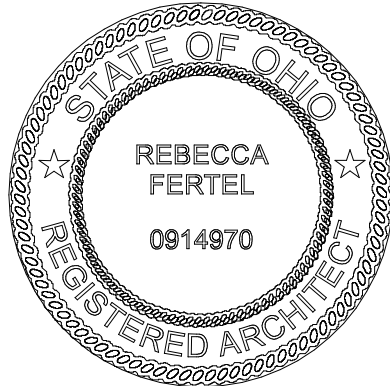
**A-1**

# List of Drawings

- A-1 Title Sheet, Notes, Site Plan
- A-2 Basement Plan
- A-3 First Floor Plan
- A-4 Left and Right Elevations
- A-5 Exterior Elevations
- A-6 Rear Elevation
- A-7 Kitchen Perspectives and Interiors
- A-8 Kitchen Interiors
- A-9 Kitchen Interiors
- A-10 Project Notes

# Design Loads

- SEISMIC DESIGN CATEGORY: "B"  
 WIND SPEED (mph): 115
1. FLOOR LIVE LOADS:  
 FIRST FLOOR: 40 psf  
 SECOND FLOOR: 30 psf  
 FLOOR DEAD LOADS: 10 psf
  2. ROOF LIVE LOADS (SNOW): 30 psf  
 ROOF/CEILING DEAD LOAD: 12 psf  
 TOTAL ROOF LOADING: 42 psf



Rebecca Fertel, Architect · 3429 Blanche Avenue  
 Cleveland Heights, OH 44118 · (845) 352-0086  
 License No. 0914970 Exp. 12/31/27

**REBECCA FERTEL,**  
 ARCHITECT  
 ARCHITECTURE \* PLANNING  
 DESIGN \* IMPLEMENTATION

3429 Blanche Avenue  
 Cleveland Heights, OH 44118  
 (845) 352.0086  
 rivky@fertelarch.com

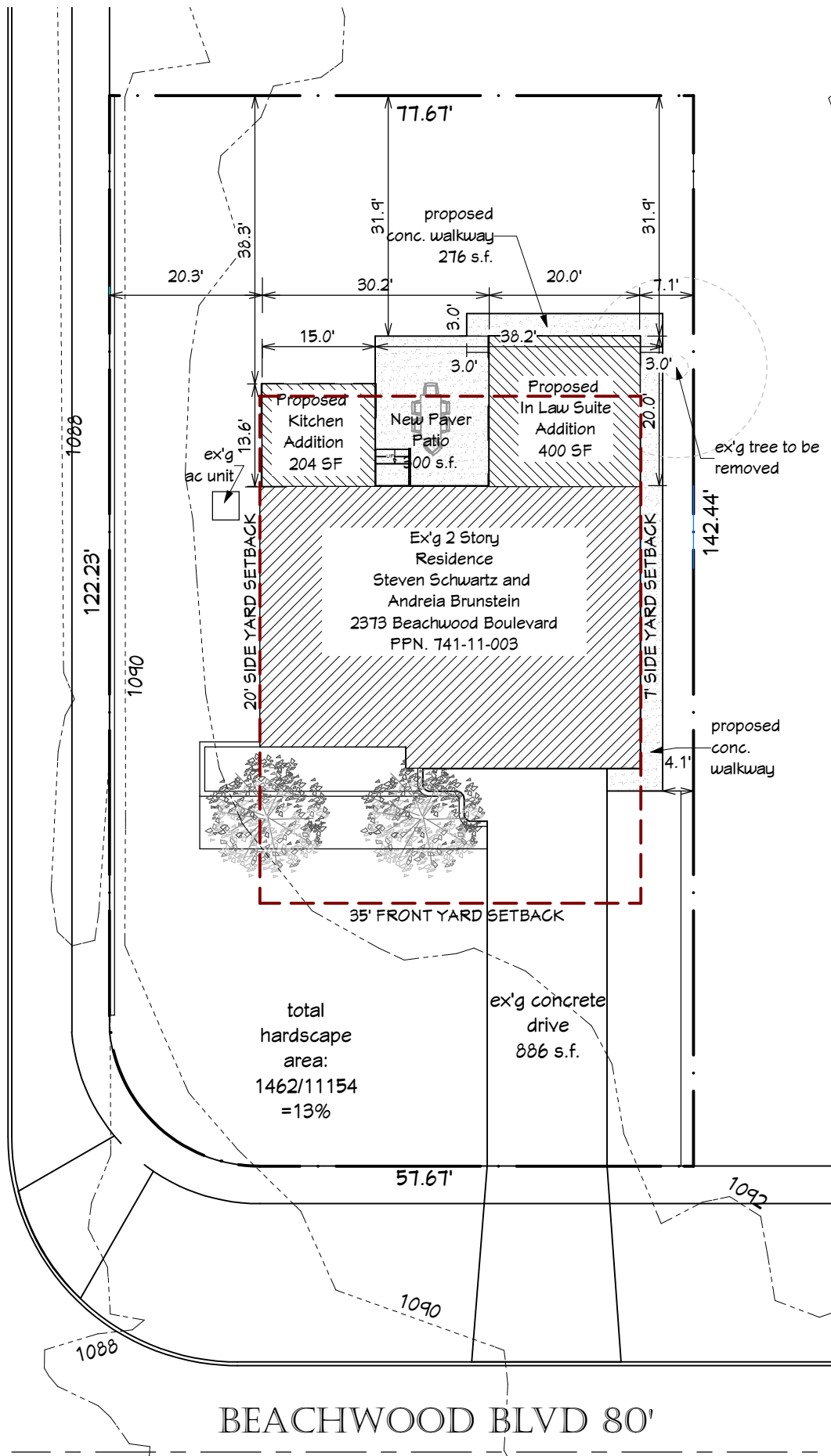
# Project Description

The project consists of

1. Accessible bedroom and bathroom addition
2. Kitchen addition and remodel



WENDOVER DRIVE 50'



BEACHWOOD BLVD 80'

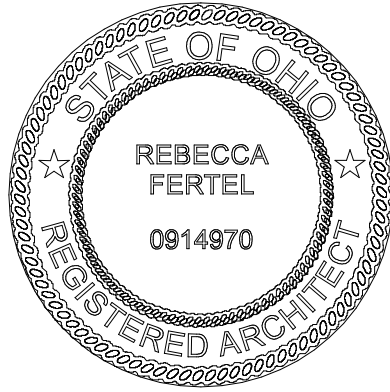
**N** 1 Site Plan  
 A-1 1 in = 20 ft

Additions and Renovations to

**Schwartz Residence**  
 2373 Beachwood Boulevard,  
 Beachwood, Ohio 44122

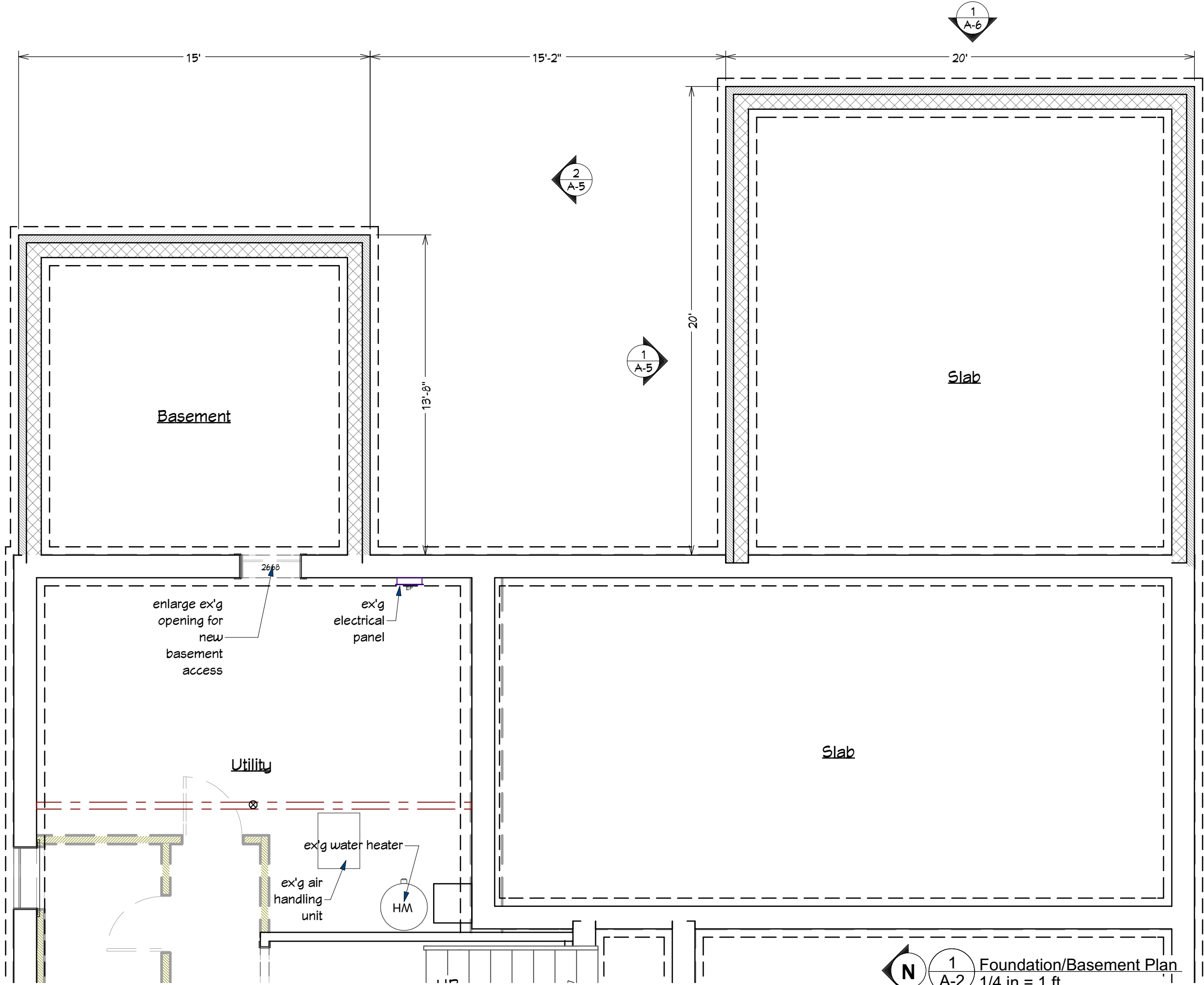
**Title Sheet, Notes, Site Plan**

Drawn by rf	Job number 2031
Issued for	
11/20/2025 Preliminary	12/29/2025 Revised
1/8/2026 Expanded	2/13/2026 P&Z
Drawing number	
<b>A-1</b>	



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rivky@fertelarch.com



Additions and Renovations to

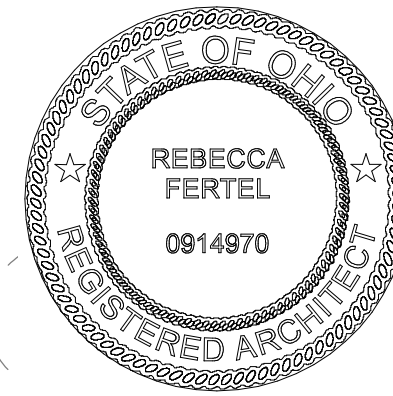
**Schwartz Residence**  
2373 Beachwood Boulevard,  
Beachwood, Ohio 44122  
**Basement Plan**

Drawn by	Job number
rf	2031

11/20/2025	Preliminary
12/29/2025	Revised
1/8/2026	Expanded
2/13/2026	P&Z

Drawing number
<b>A-2</b>

**N** 1/A-2 Foundation/Basement Plan  
1/4 in = 1 ft



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Drawn by: rf Job number: 2031

Additions and Renovations to

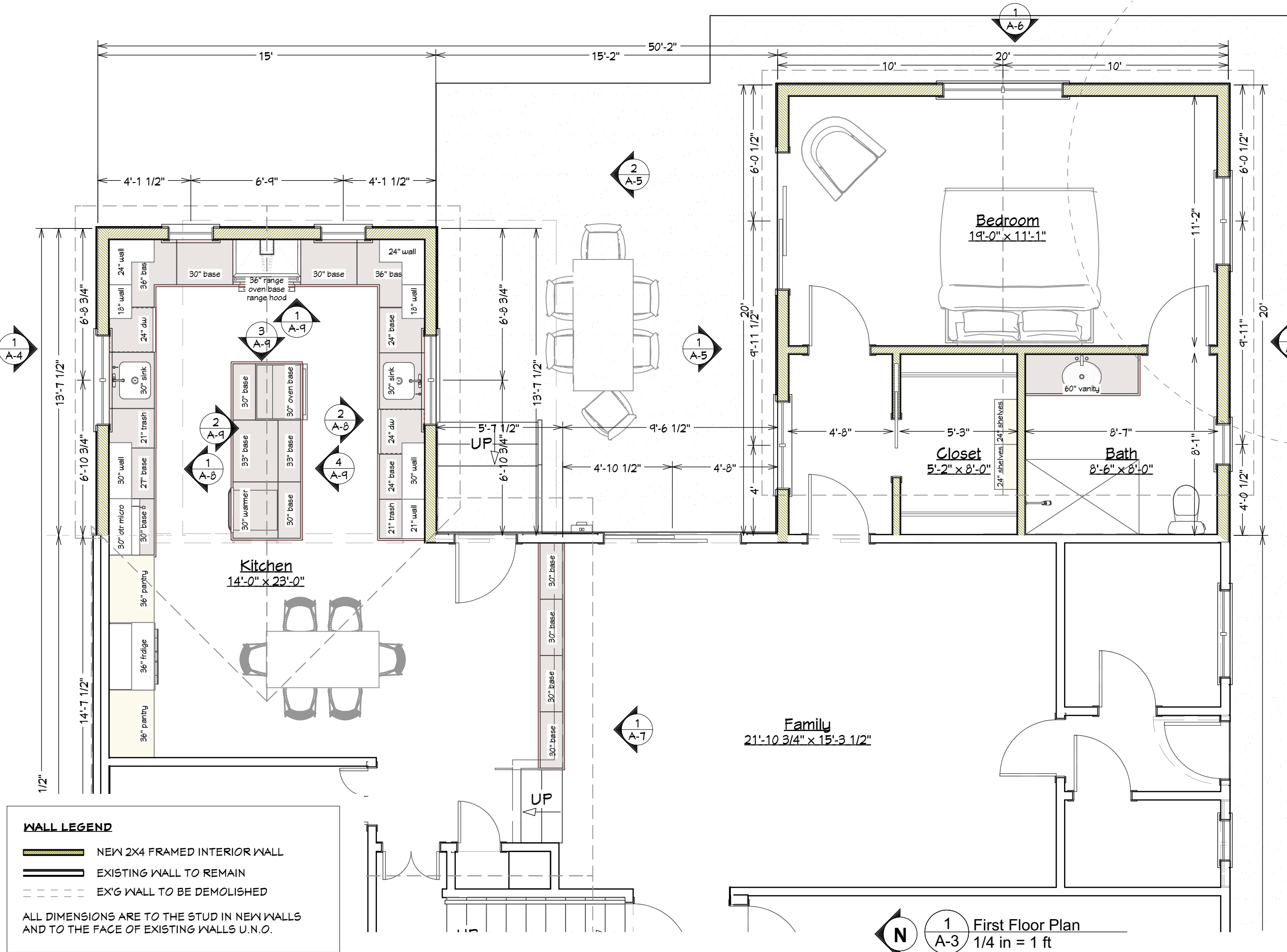
**Schwartz Residence**  
2373 Beachwood Boulevard,  
Beachwood, Ohio 44122

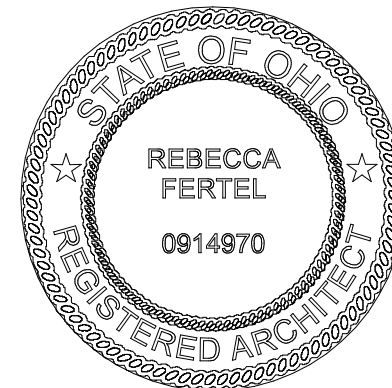
**First Floor Plan**

Issued for:  
11/20/2025 Preliminary  
12/29/2025 Revised  
1/8/2026 Expanded  
2/13/2026 P&Z

Drawing number

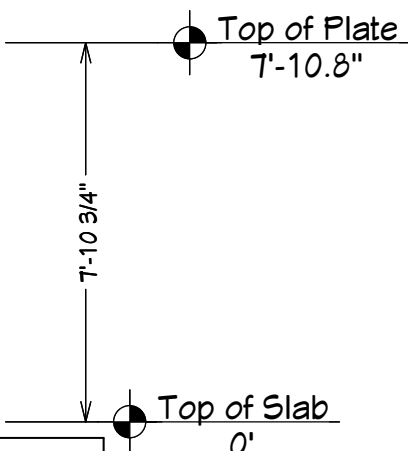
**A-3**



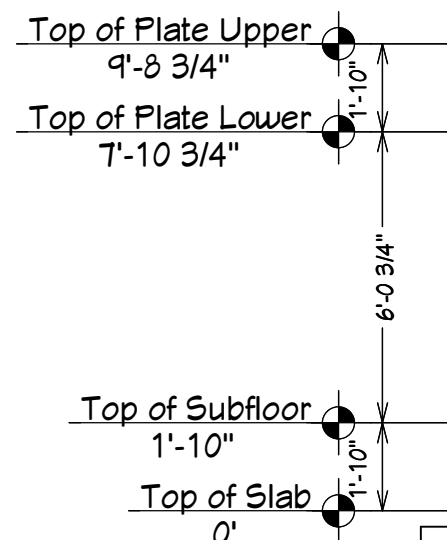


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(845) 352.0086  
rivky@fertelarch.com



2 Right Elevation - In Law Suite  
A-4 1/4 in = 1 ft



1 Left Elevation - Kitchen Addition  
A-4 1/4 in = 1 ft

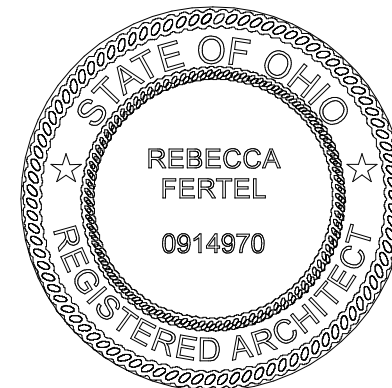
Drawn by Job number  
rf 2031

Additions and Renovations to  
**Schwartz Residence**  
2373 Beachwood Boulevard,  
Beachwood, Ohio 44122  
**Left and Right Elevations**

Issued for  
11/20/2025 Preliminary  
12/29/2025 Revised  
1/8/2026 Expanded  
2/13/2026 P&Z

Drawing number

**A-4**



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Cleveland Heights, OH 44118  
(845) 352.0086  
rivky@ferrelarch.com



2 Right Elevation - Kitchen Addition  
A-5 1/4 in = 1 ft



1 Left Elevation - In Law Suite  
A-5 1/4 in = 1 ft

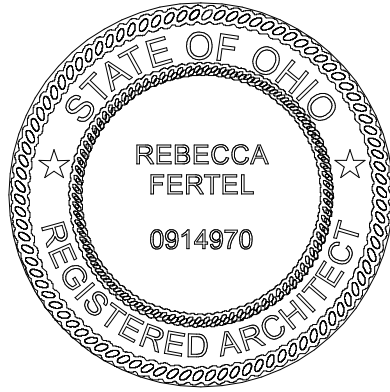
Drawn by Job number  
rf 2031

Additions and Renovations to  
**Schwartz Residence**  
2373 Beachwood Boulevard,  
Beachwood, Ohio 44122  
**Exterior Elevations**

Issued for  
11/20/2025 Preliminary  
12/29/2025 Revised  
1/8/2026 Expanded  
2/13/2026 P&Z

Drawing number

**A-5**



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 License No. 0914970 Exp. 12/31/27

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 DESIGN \* IMPLEMENTATION  
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 Cleveland Heights, OH 44118  
 (845) 352.0086  
 rivky@fertelarch.com



1 Rear Elevation  
 A-6 1/4 in = 1 ft

Drawn by Job number  
 rf 2031

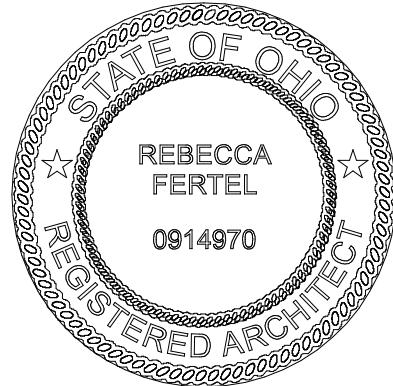
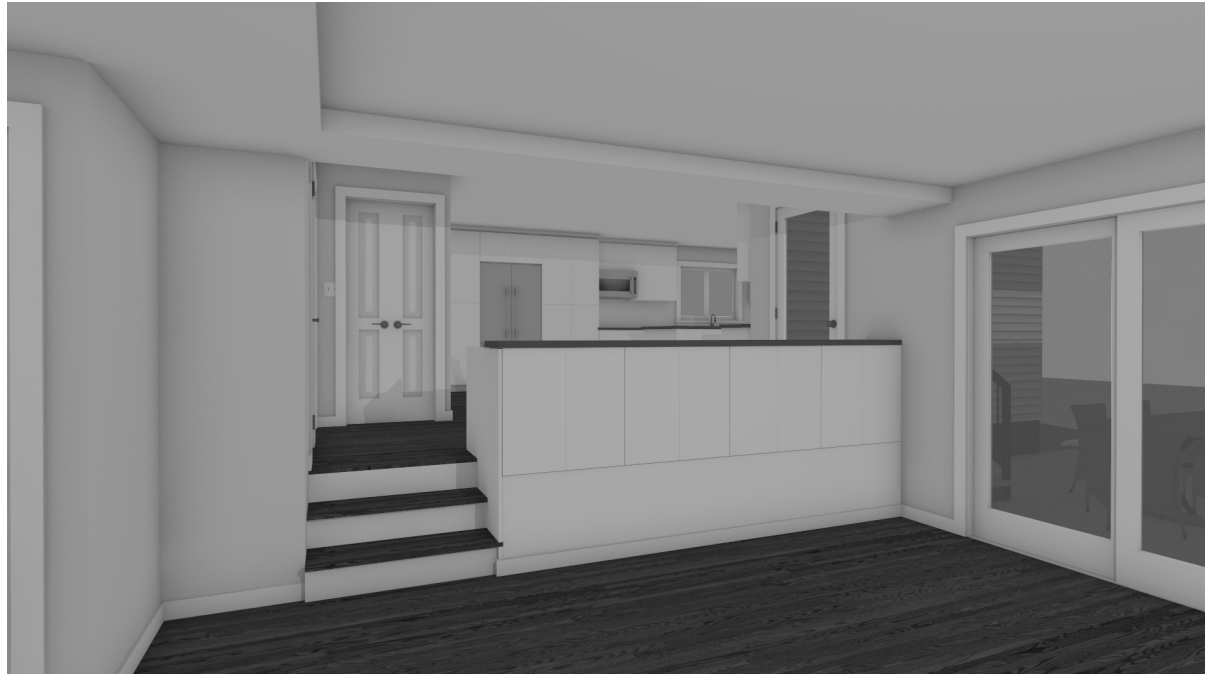
Additions and Renovations to  
**Schwartz Residence**  
 2373 Beachwood Boulevard,  
 Beachwood, Ohio 44122  
**Rear Elevation**

Issued for

11/20/2025 Preliminary  
 12/29/2025 Revised  
 1/8/2026 Expanded  
 2/13/2026 P&Z

Drawing number

**A-6**

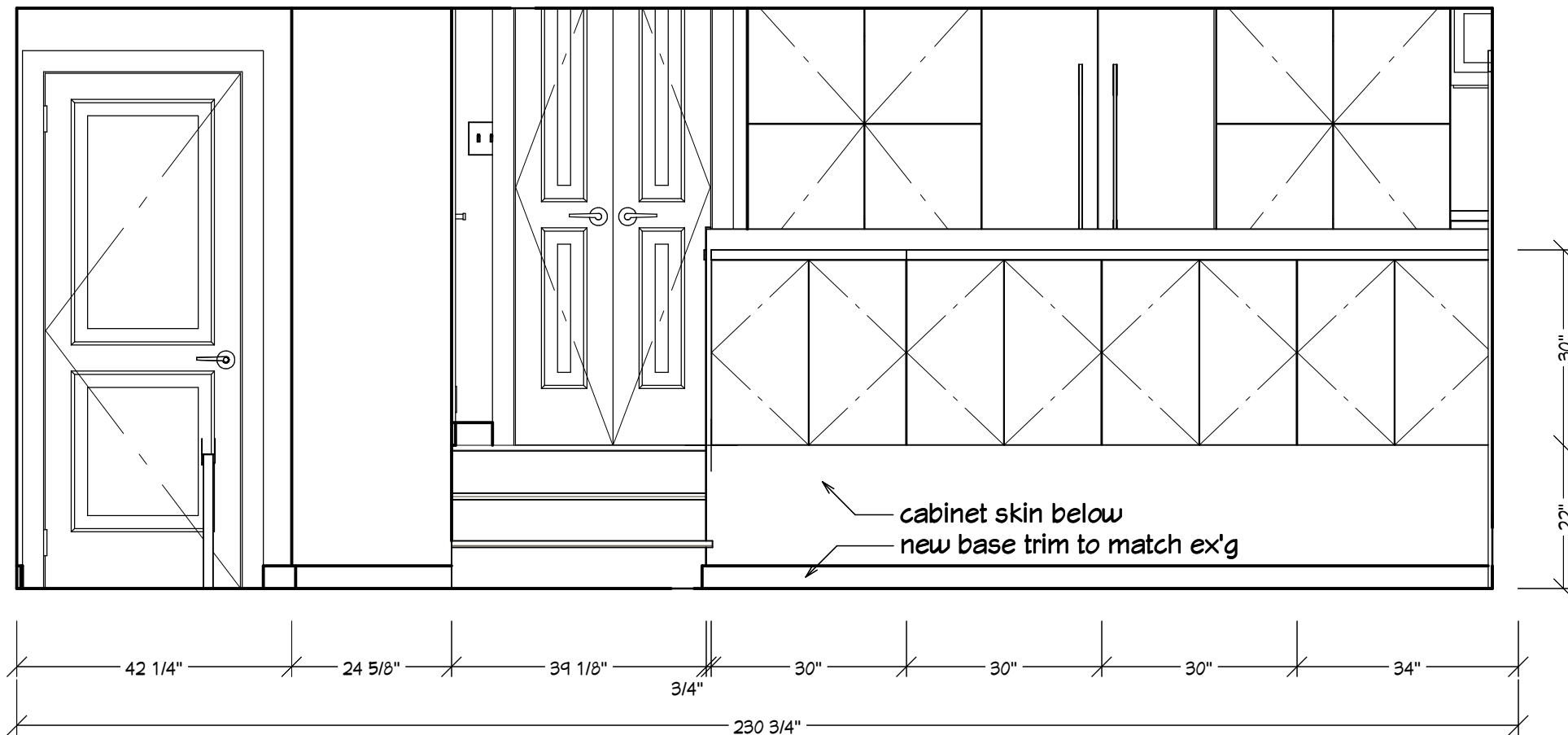


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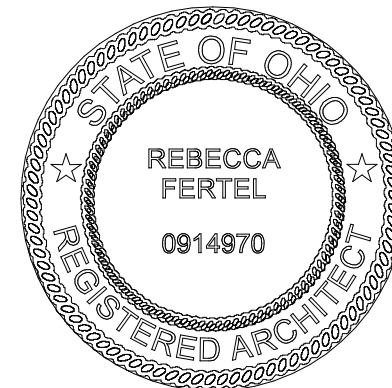
3 Family Room Cabinets  
A-7

2 Kitchen Perspective  
A-7



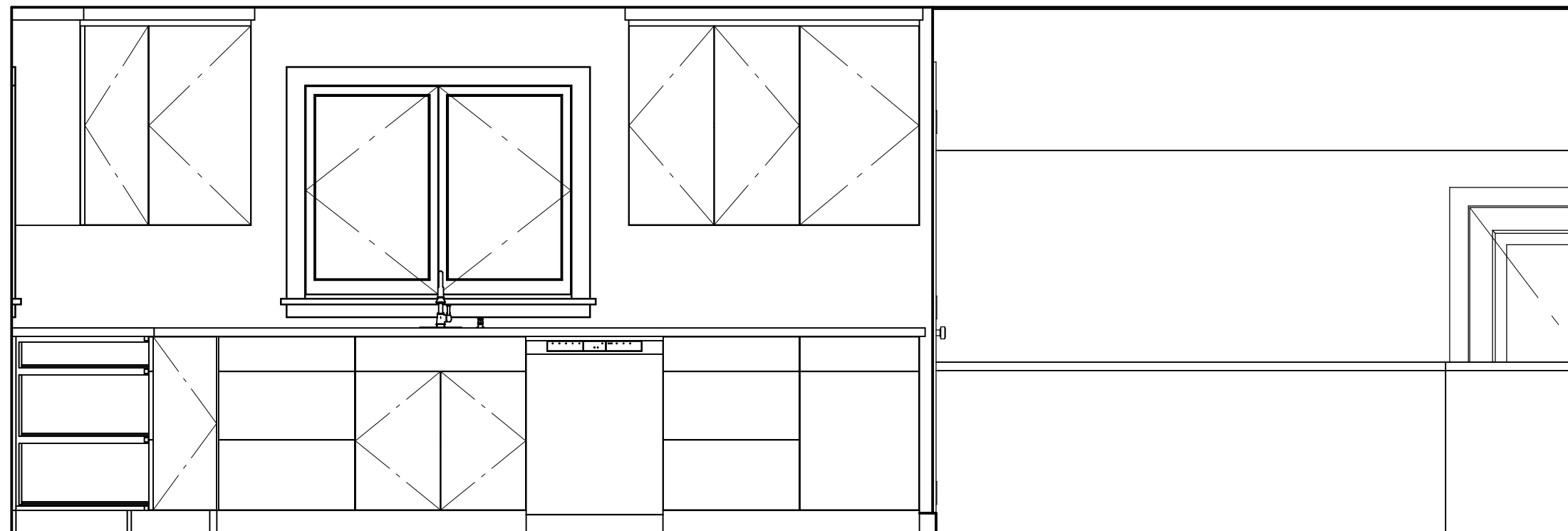
1 Family Room Interior  
A-7 1/2 in = 1 ft

Drawn by rf	Job number 2031
Additions and Renovations to <b>Schwartz Residence</b> 2373 Beachwood Boulevard, Beachwood, Ohio 44122 <b>Kitchen Perspectives and          Interiors</b> Issued for	
11/20/2025 Preliminary	12/29/2025 Revised
1/8/2026 Expanded	2/13/2026 P&Z
Drawing number	
A-7	

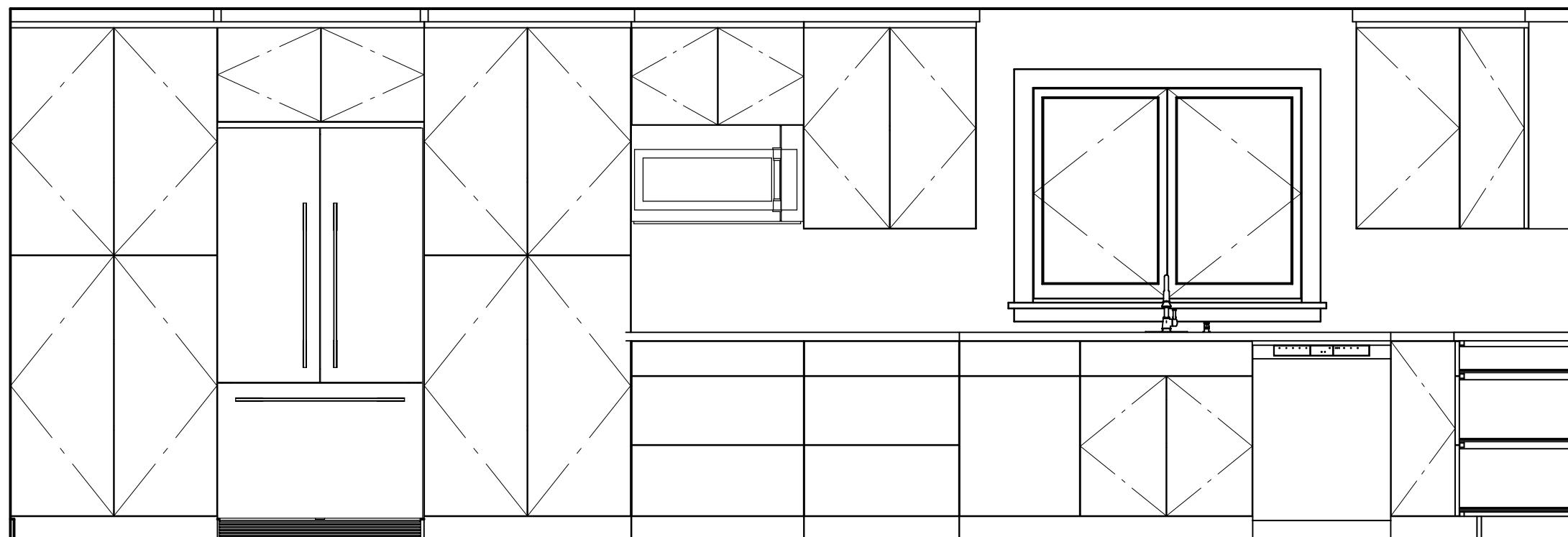


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 rivky@fertelarch.com



**2** Kitchen Interior Right  
 A-8 1/2 in = 1 ft



**1** Kitchen Interior Left  
 A-8 1/2 in = 1 ft

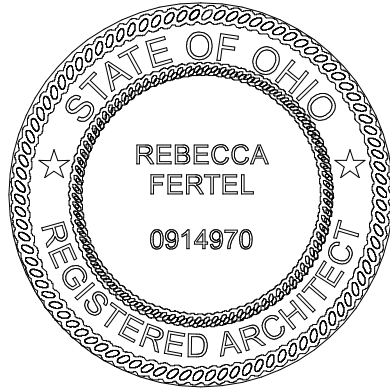
Drawn by rf	Job number 2031
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Additions and Renovations to  
**Schwartz Residence**  
 2373 Beachwood Boulevard,  
 Beachwood, Ohio 44122  
**Kitchen Interiors**

Issued for
11/20/2025 Preliminary
12/29/2025 Revised
1/8/2026 Expanded
2/13/2026 P&Z

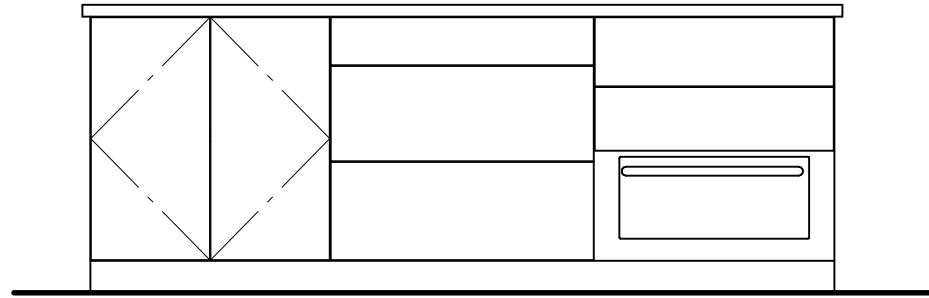
Drawing number

**A-8**

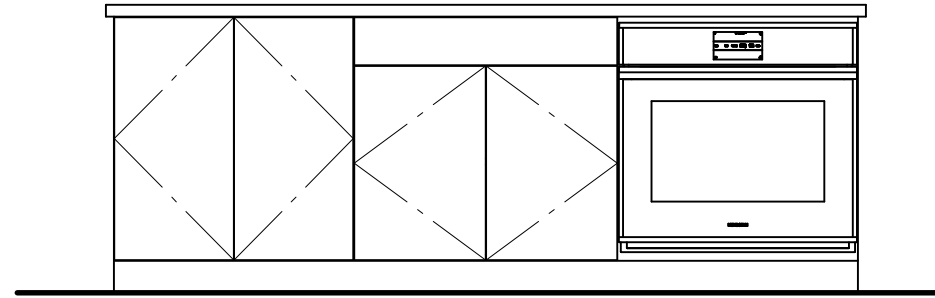


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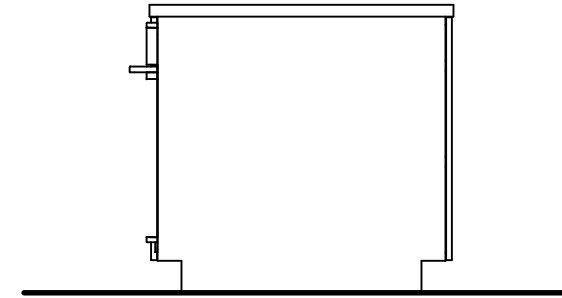
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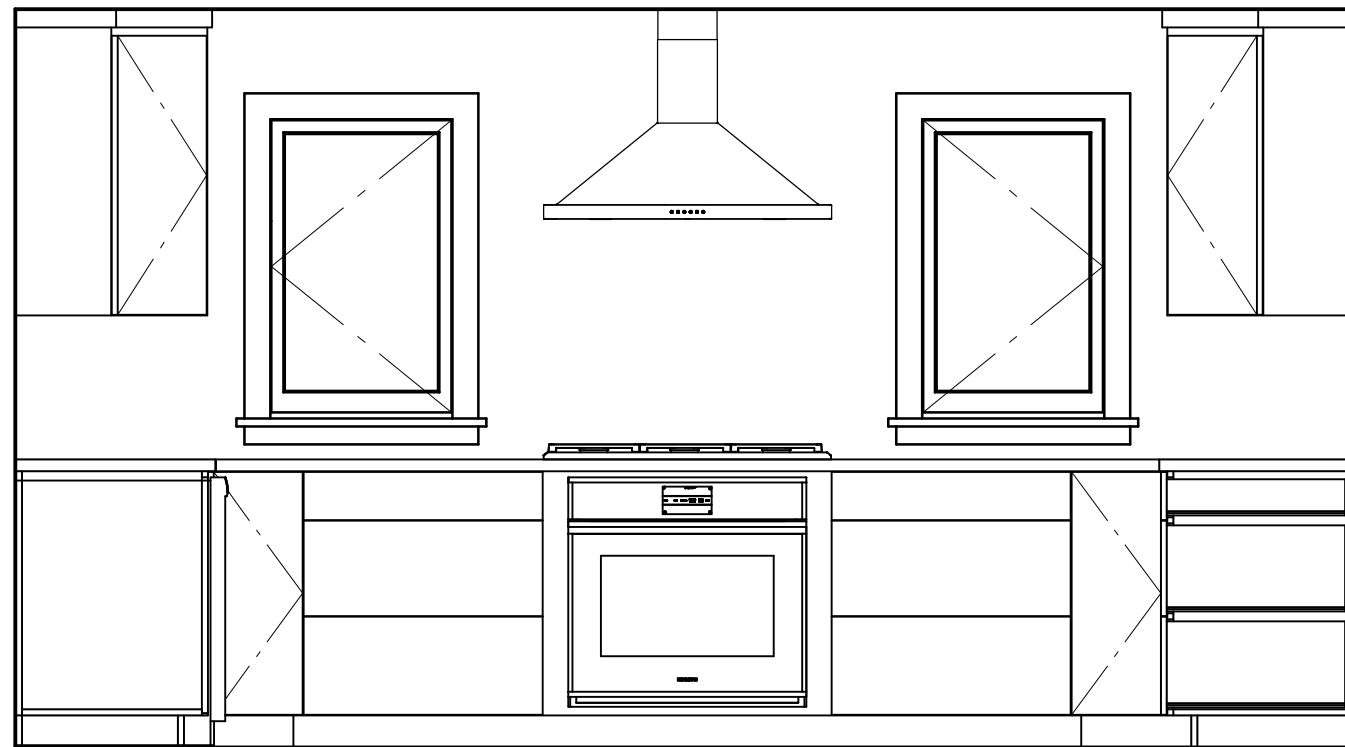
**2** Island Left Side  
A-9 1/2 in = 1 ft



**4** Island Right Side  
A-9 1/2 in = 1 ft



**3** Island Front Elevation  
A-9 1/2 in = 1 ft



**1** Kitchen Interior - Rear  
A-9 1/2 in = 1 ft

Drawn by rf	Job number 2031
Additions and Renovations to <b>Schwartz Residence</b> 2373 Beachwood Boulevard, Beachwood, Ohio 44122 <b>Kitchen Interiors</b>	
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11/20/2025 Preliminary	12/29/2025 Revised
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<b>A-9</b>	

**SPECIFICATIONS DIVISION 1- GENERAL REQUIREMENTS**  
**BUILDING CODE:** All work under this contract shall be subject to the **RESIDENTIAL CODE OF OHIO for One-, Two- and Three-Family Dwellings**, latest edition, and all municipal and local laws and regulations.  
**CONTRACT:** *The Owner* will enter into a working relationship with the selected *General Contractor* based on an agreement format proposed by *General Contractor* and approved by *The Owner*. *The Contract Documents*, including The Drawings, Specifications, and General Conditions are complimentary and what is required by one shall be as if required by all. Generally, the Specifications take precedence over the Drawings. Should conflicts occur within the Contract Documents, the Contractor is assumed to have based his cost on the more expensive method of performing the Work unless The Architect has issued clarification before submittal of the Bid Proposal or the Contractor has specifically clarified the issue within his proposal.

**INSURANCE:** Before beginning the Work, *The Contractor* shall provide to *The Owner* a Certificate of Insurance for an amount equal to the Contract Amount and shall also provide a copy of his current Worker's Compensation Certificate. He shall also provide proof of Builder's Risk and Liability Insurance. *The Owner* will obtain or increase existing Homeowner's Insurance to cover work incorporated into the job.

**JOB SITE SECURITY/SAFETY/CONDITION:** Barriers, barricades, signs or warning lights, and other safety devices shall be provided to ensure safety to *The Owner*, workers, and the general public from hazardous conditions which may arise as a result of the work. *The Contractor* shall utilize all means necessary during demolition and construction to ensure that all new construction and existing finished spaces are thoroughly protected from vandalism, theft, water and wind damage; and shall remedy/replace, at *The Contractor's* expense, any such damage that does occur.

**Debris:** On a daily basis *The Contractor* shall place all construction debris in a mobile refuse container, located where agreed with *The Owner*, to ensure a safe, orderly and clean construction site. All debris shall be removed at completion of the project. No burying or burning of construction debris shall be permitted unless approved in advance by *The Owner*.

*The Contractor* shall provide a portable toilet for use by all personnel, located where directed by *the Owner*, which shall be cleaned and serviced on a regular basis.

**MATERIALS PROTECTION/ STORAGE:** Construction materials stored outside shall be covered and protected with weatherproof tarps. Wood and similar materials shall not be stored in contact with the ground.

**WARRANTY:** *The Contractor* shall provide to *The Owner* a minimum one-year guarantee on materials, equipment and workmanship to commence at the point of substantial completion for all contract work. *The Contractor* shall furnish *The Owner* with copies of all equipment guarantees and Owner's Manuals

**WORK:** Before submitting his Bid Proposal, *The Contractor* shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the *Contract Documents* with the existing conditions and report to *The Architect* any errors, discrepancies, inconsistencies or omissions, and materials, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which *The Contractor* would not warrant as required by *The Contract Documents*.

Prior to ordering materials or doing work at the site, *The Contractor* shall verify dimensions and conditions affecting materials to be ordered or work to be done, to insure that information shown on *The Contract Documents* accurately reflects actual conditions, and shall not proceed without *The Architect's* instructions if there are omissions, errors, discrepancies or inconsistencies.

*The Contractor* shall provide all labor, material, equipment, apparatuses and accessories required to complete all work shown on these drawings, or reasonably implied and necessary for the completion of the project. **All materials and equipment to be installed following manufacturers' instructions and best construction methods and standards.**

*The Contractor* shall obtain and pay for all required permits, royalties, shipping charges, fees and licenses and shall arrange for all inspections necessary for the proper execution of the Work. Approval Certificates shall be posted in a prominent, central location and per local authority's requirements.

Substitutions for items herein specified, or shown on Drawings, must be approved by *the Architect*. The phrase "or equal" in the *Drawings* or *Specifications* shall be interpreted as meaning equal in the opinion of the *Architect*, and must have his approval prior to ordering.

**EXISTING CONDITIONS:**

**SELECTIVE DEMOLITION:** Where any portion of an existing structure is to be removed, the remaining structure shall be shored, braced or underpinned as may be required prior to beginning the demolition. Temporary support shall remain in place until permanent support or construction is completed. Contractor to include removal, termination, or relocation of all existing electrical, plumbing, HVAC, phone/TV antenna or cable/stereo wiring, central vacuum, electronic pet barriers, lawn irrigation systems, or other devices as required for demolition or new construction.

**PROJECT CLEANING:** At the completion of the project, and during the project as may be appropriate, *the Contractor* shall thoroughly clean all work, including, but not limited to, the following: removal of mortar spatters or stains from all interior and exterior masonry; removal of masonry waterproofing above finish grade; removal of any spatters or stains from exterior siding, roofing, or other exterior materials; removal of all stains from all exposed concrete work, except for Crawl Space concrete; removal of stains and cleaning of counter tops, ceramic tile, plumbing fixtures and fittings, etc.; thorough cleaning of faucet screens and plumbing traps; vacuuming of all floors, followed by wet mopping of hardwood, ceramic, stone or other hard surface floors; dusting of all walls, ceilings, trim, doors, windows, cabinets, etc., including the interiors of all cabinets; removal of all window and door stickers, paint or stain overlapping on glass, and other glass spatters; polishing of all windows, mirrors or other glass. In addition, *The Contractor* shall be responsible for the removal, including final vacuuming, of all construction, or other, debris from joist, rafter, stud, or other cavities prior to concealing with flooring, drywall

**A copy of the Drawings and Specifications, any Addenda issued before or during construction, and all detail drawings submitted during construction, shall be kept and maintained in a suitable condition on the site for use by the Owner, Architect, General Contractor, and all tradesmen.**

**SPECIFICATIONS DIVISION 2 - SITE AND EXISTING CONDITIONS**  
**SITE ACCESS:** *The Contractor* shall access the site, stockpile construction materials and park construction vehicles and equipment where agreed with *The Owner*. Work shall be executed in a manner to minimize damage to existing drives, walks, lawns, plantings, trees, house, utilities, etc. Any such items that are damaged by construction activities shall be repaired to their original condition at *The Contractor's* expense. *The Contractor* shall remove topsoil in areas of new excavations, if any, and stockpile where agreed with *The Owner* for reuse as finish grading material. *The Contractor* shall limit site disturbance to minimum required for access and mobility.

**TREE PROTECTION:** *The Contractor* shall actively protect all trees onsite unless requested otherwise by *The Owner* or on the drawings. **Before heavy equipment is employed on site, PROTECTION FENCING must be erected where required to prevent root damage by equipment travel within tree drip line.** *The Contractor* shall obtain approval of *The Owner* prior to removal of any trees not directly within perimeter of new construction.

**EXCAVATION:** Prior to beginning any excavation work, *The Contractor* shall ascertain the location of all underground utilities and services, using utility company location services if necessary, and carefully avoid damage to these items, or interruption of service, to include electric, phone, water, gas, sanitary/storm sewers, etc. The cost to repair and restore any damage to such services shall be paid for by *The Contractor*. The *Contract Documents* have been prepared with an assumed soil bearing capacity of 2,000 psf. No sub-surface geotechnical report or soil bearing logs have been provided or reviewed prior to design of this work. *The Contractor* shall verify soil conditions and shall notify *The Architect* and *The Owner* of any suspected or unusual soil conditions that may affect the footing or foundation work, and shall not proceed until so directed. No new work shall bear on unusual or questionable soil. Excavate to depths as required to provide floor levels as shown on Drawings. Provide a minimum footing depth of 3'-6" below grade. If existing footings are shallower than new adjacent footings, DO NOT disturb soil, call Architect for further instructions BEFORE proceeding.

**SPECIFICATIONS DIVISION 3 - CONCRETE**

**GENERAL:** Cast-in-place concrete construction shall conform to the latest edition of American Concrete Institute ACI-301, 305, 306, 315, 318, and 347, unless noted otherwise.

Slump for all classes of concrete to be between 4" and 5" (ASTM C-143) Concrete shall be discharged at the site within 1 ½ hours after water has been added to the cement and aggregates. Addition of water to the mix at the project site will not be permitted.

CONCRETE WASTE and wash water should be returned with each concrete truck for disposal at the concrete batch plant. If this is not possible, operators can install prefabricated or built on-site concrete washout area per *The Architect's* instructions. Contractor must not wash out concrete trucks onto the ground, or into storm drains, open ditches, streets, or streams. Do not allow excess concrete to be dumped onsite, except in designated concrete washout areas.

**COMPRESSIVE STRENGTH:** The compressive strength of concrete in 28 days shall be as follows:

- Grout: 2,500 psi minimum
- Footings and Interior slabs: 3,000 psi
- Exterior and Garage slabs-on-grade: 4,000 psi with 6% +/- 1% Air-entrainment

Water/Cement Ratio: The water/cement ratio shall not exceed the following:

Comp. Strength	Non Air-entrained	Air-entrained
3,000 psi	0.58	
4,000 psi	0.53	0.44

**REINFORCING:** Concrete steel reinforcing bars shall conform to ASTM A-615, Grade 60. Welded wire fabric (w.w.f.) shall conform to ASTM A-185-79 (60,000 psi yield). All detailing, fabrication, and placement of reinforcing steel shall conform to the Manual of Standard Practice for Detailing Reinforced Concrete Members.

For slabs: Wire shall lap one full mesh +2" and be securely wired each side and end. Reinforcing placed at 1/3 of slab thickness from top of slab, typical.  
**EXTERIOR/GARAGE SLAB: 4" thick, 4000 psi air-entrained concrete with w.w.f. 6x6-W2.9xW2.9.**

**SPECIFICATIONS DIVISION 6 - WOOD, PLASTICS, COMPOSITES**

A. ROUGH FRAMING: GENERAL

All structural framing shall be detailed, fabricated, and erected in accordance with the "National Design Specification" by the National Forest Products Association (N.Fo.P.A.), latest edition. Nail or spike members in accordance with the Residential Code of Ohio, latest edition, Chapter 5-9. All nails exposed to weather to be hot-dipped galvanized at minimum. Framing lumber shall be seasoned to a moisture content of 19% or less (S-DRY). Brace all walls, rafters, floor and roof joists as required to prevent shifting, racking or other movement both during construction and after completion of the work. Cut framing square on bearings, closely fitted, accurately set to required lines and levels and plumb. Do not use shims for leveling on wood or metal bearings. Framing: All structural framing members shall be single lengths between points of support.

- 1 Floor and ceiling joists shall have solid bridging at minimum 8'-0" intervals or at mid-spans, with minimum 2" bearing at ends. Floor joists to be doubled under partitions parallel to joist direction. Solid blocking required under partitions perpendicular to joist direction. Solid blocking required at 32" o.c. to tie first joist back to parallel foundation walls, where foundation walls run parallel to joist direction.
- 2 Sill plates and wall plates on concrete block or slabs shall be pressure-treated wood and bear over 1/2" compressible sill sealer as manufactured by Dow, Celotex, or Amoco. Sill plates shall be anchored with ½" anchor bolts @ 6'-0" o.c. (max.) and 1'-0" from corners and openings.
- 3 Exterior stud framing to be spaced 16" o.c., doubled at openings, framed for solid backing at corners and angles for drywall. Inner trimmer/jack studs at window/door, etc., openings shall be cut to support the header over the opening and shall extend in one piece from header to bearing. Jack studs shall be doubled at openings exceeding 8'-0". Walls taller than 9'-0" shall receive solid, horizontal blocking at mid-height.
- 4 Wall opening headers shall be minimum (2) 2 x 8's with plywood spacers for spans less than 3'-6" and (2) 2x10's with ½" plywood for spans equal to or greater than 3'-6" unless indicated otherwise on Drawings.

ROUGH LUMBER: Unless otherwise noted on the Drawings, material shall be selected and warranted by The Contractor to satisfy the following minimum design stresses for sawn lumber and laminated veneer lumber:

	Fb (psi)	Fv (psi)	Fc (psi)	E (psi)
● Framing Member				
● Beams and Headers	1000	130	1000	1,400,000
● Floor Joists	1000	130	1000	1,400,000
● Rafters & C'l'g Jst's	1000	130	1000	1,400,000
● Studs & Misc. Fram'g	875	110	1000	1,400,000
● Microlam (LVL)	2600	285	2510	1,900,000

2x Rough Framing: shall be S4S #2 Southern pine, Hem-Fir, Spruce Pine Fir or better. Sill plates, all framing against masonry or concrete, and framing exposed to weather: shall be pressure-treated lumber.

**EXTERIOR WALL STUD FRAMING:** to be 2x6, unless noted otherwise on drawings for walls up to 9'-5" tall and 2x6 for walls over 9'-5". Gable walls with uninterrupted vertical studs over 14'-0" in height to be 2x8.

**INTERIOR WALL STUD FRAMING:** to be 2x4, unless noted otherwise on drawings for walls up to 9'-5" tall, and 2x6 for walls over 9'-5". Gable walls with uninterrupted vertical studs over 14'-0" in height to be 2x8.

**CONNECTORS:** Where shown on the Drawings or required herein metal connections shall be provided, designed for specific loading requirements, fabricated from galvanized sheet metal or painted steel plate, as manufactured by Simpson Strong-Tie or equal.

**PRESERVATIVE PRESSURE TREATED WOOD** shall meet the following AWWPA standards for ACQ Preservative retention rates:

Above ground (decking & joists, etc.)	0.25 lb/cu.ft.
Ground contact (posts)	0.40 lb/cu.ft.
Permanent Foundations (poles)	0.60 lb/cu.ft.

**EXTERIOR DECK FRAMING:** Deck structural lumber (posts, beams, joists, etc.) shall be CCA preservative pressure treated and shall be constructed with hot-dip galvanized ring or spiral shank nails.

**DECKING:** P.T. wood

**SPECIFICATIONS DIVISION 8 - WINDOW AND DOOR OPENINGS**

**WINDOW INSTALLATION:** Air-and-moisture barrier shall be applied to the building exterior, properly taped and wrapped at openings, before installation of windows. Apply a continuous bead of sealant under nailing fins. Apply Protecto Tape 5" wide bitumen-modified self-adhesive protection tape at head, jamb, and window sill over nailing fin and providing positive seal from window unit to building wrap. Lap tape for proper drainage.

**TEMPERED/SAFETY GLAZING:** Tempered or safety glazing shall be required for the following locations considered hazardous:

- 1) Glazing in a fixed or operable panel within 24 inches of an adjacent door and whose bottom edge is less than 60 inches above the floor or walking surface.
- 2) Glazing in a fixed or operable panel that is larger than 9 square feet and whose bottom edge is less than 18 inches above the walking surface.
- 3) Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
- 4) Glazing adjacent to stairways, landings and ramps within 36 inches measured horizontally of a walking surface and whose bottom edge is less than 60 inches above the plane of the adjacent walking surface. Glazing adjacent to stairways within 60 inches measured horizontally from the bottom tread of the stairway and whose bottom edge is less than 60 inches above the nose of the tread.

**MANUFACTURED PATIO DOOR:** to be vinyl construction w/ integral blinds, **CONFIRM WITH OWNER** Door supplied by window manufacturer to meet the following specification standards:

**GENERAL:** units to have nailing fins w/corner waterproof closure; high-performance, 5" wide butyl-modified window tape included with order.

**GLASS:** to be double-pane glass with 272 Low-E Coating and argon gas, U= 0.32 or less.

**SCREENS:** to be Dark fiberglass mesh.

**INTERIOR DOORS:** to be solid masonite/MDF doors, finish shall be smooth (NO WOOD GRAIN). Set doors to provide maximum 1/4" clearance between bottom edge of doors and finish flooring, including carpeting. Jamb at Door and Cased Openings shall be tightly shimmed in a minimum of three locations on each side including at hinges and locksets.

**DOOR HARDWARE:** Provide and install all finish hardware as selected by The Owner and Architect under allowance, and shall include all door latches/LEVERS and stops. Unless otherwise directed, door hardware shall be 2 3/4" backset latches. Doors shall be hung with three square hinges per door, 3½"x3½" hinges for interior doors, and 4"x4" for exterior doors. Shim all jambs, minimum 3 shims per side jamb.

**SPECIFICATIONS DIVISION 9 - FINISHES**

**DRYWALL:** Use 1/2" gypsum-board for new wall finish; Use 5/8" gypsum-board for new ceiling finish. Verify adequate/level framing before installation to avoid visibly uneven surface. All ends and edges of gypsum board should occur over framing members or other solid backing except where treated joints occur at right angles to framing or furring members. Gypsum Board is applied directly to wood framing members. Ceilings are applied first, then sidewalls. Boards should be accurately cut and joints abutted but not forced together.

Horizontal application, long edges at right angles to nailing members, is preferred for it minimizes joints and strengthens the wall or ceiling. GYPSUM BOARD FINISHING: Execution of finishing is to conform to Gypsum Association publication GA 214-10: Recommended Levels of Gypsum Board Finish. Levels shall be attained according to ASTM C 840, "The Standard Specification for Application and Finishing of Gypsum Board." Tape all edges, all joints thoroughly bedded, taped and feathered, and all drywall corners finished with metal corner bead. All finish surfaces to be smooth, free of cracks, bulges, ridges, etc., with all topping compound well feathered and sanded and thoroughly concealed. Carefully cut around all electric, HVAC or other openings. Fur walls and ceilings as required where installed adjacent to existing plastered surfaces.

Level 4: If the final decoration is to be a flat paint, light texture or lightweight wall covering, a Level 4 finish is required.

**CEILING TEXTURES:** Where new ceiling meets existing textured ceiling, the textured ceiling finish shall be blended to match the existing texture.

**MOLD AND MOISTURE RESISTANT GYPSUM BOARD:** Gold Bond® BRAND XP Gypsum Board or equal, panel complies with requirements of ASTM C 1396. Mold/Mildew Resistance: 10 when tested in accordance with ASTM D 3273. Moisture resistant drywall shall be used in areas prone to moisture, such as bathrooms, laundry rooms, basements, garages, kitchens and utility rooms. Also may be used as tile backer in limited wet areas, such as bathroom and basement walls, as well as kitchen and laundry wall tile areas.

**BACKER BOARD:** Cementitious, water durable, board; surfaced with fiberglass reinforcing mesh on front and back; long edges wrapped; and complying with ANSI A118.9 and ASTM C 1325. Approved fasteners: Nails: 1-1/2-in. long, hot dipped galvanized, and in accordance with FS FF-N-105B, Type 2, Style 20. Screws: Hi-Lo thread screws (No. 8) wafer head, corrosion-resistant, 1-1/4 in. or 1-5/8 in. long, and complying with ASTM C 1002. Joint Treatment: Use alkali-resistant fiberglass mesh tape intended for use with cement board. Install in accordance with ANSI A108.11 and Manufacturer's Recommendations: "PermaBase Cement Board Construction Guide," 110831, National Gypsum Co.

**THIN-SET FLOORS:** Dry-set or latex-Portland cement mortar bond coat over ½" cementitious-backer board (USG Dur-rock or equal) over plywood sub floor, per F144. Tape joints with 4" Dur-rock tape set into tile setting material.

**TUB/SHOWER SURROUNDS/BACKSPLASH:** Dry-set or latex-Portland cement mortar bond coat on ½" cementitious-backer board (USG Dur-rock or equal) over wood studs, W244 or B412. Add waterproof membrane over cementitious backer board for tub decks. INSTALL TILED WALL NICHES (INTEGRATED WITH WATERPROOFING SYSTEM) WHERE SHOWN ON DRAWINGS.

**TILE WAINSCOT (DRY AREAS/BACKSPLASHES):** Dry-set or latex Portland cement mortar bond coat or

adhesive (organic adhesive in accordance with ANSI A136.1, Type 1) over water-resistant gypsum-board on wood studs, apply per B413.MUD-SET SHOWER OR BATH PAN: 1" to 1 1/2" reinforced mortar bed and one-piece membrane over sloped fill over depressed subfloor, B414.

**THRESHOLDS:** Shall be 1/4" maximum above adjacent flooring to ensure accessibility. Set down subflooring as required to accommodate the low threshold.

**SEALING:** All porous stone, ceramic tile, or other porous flooring and wall tile shall be sealed following installation to prevent staining, and other precautions taken to prevent damage to such tile work.

**INTERIOR PAINTING:**

**PREPARATION:** Inspect all surfaces to be painted or stained to ascertain that all such surfaces are dry, clean and in perfect condition for finishing. Wood surfaces shall be smoothly sanded; all nail and screw holes and imperfections filled with non-shrinking putty and refilled as required so that these imperfections are indiscernible; and all knots, pitch pockets and saps streaks primed with shellac. After priming fill gaps between trim and walls/ceilings with paintable latex/silicone caulk and wipe smooth.

**MATERIALS:** Painting materials to be Sherwin Williams, Pratt and Lambert, Benjamin-Moore, or approved equal, delivered to job in new, unopened containers. Paint or finish shall be of color, shade, sheen and texture as selected and approved by The Owner prior to commencement of work, samples presented on a reasonably large area.

**EXECUTION:** Finish work shall be of uniform shades, free from shadows, runs, sags, grain, grain variations (when stained) and dust, dirt or other airborne particles. Where surfaces of different colors meet, the final appearance shall be of a fine, straight line. All light fixtures, electric outlet covers, HVAC grills, hardware, or other removable materials adjacent to painted surfaces shall be removed and replaced after painting is completed. Other built-in materials adjacent to painted surfaces shall be carefully masked prior to painting/staining.

**INTERIOR PAINTED WOOD** or trim work: shall be painted with three coats: First, alkyd enamel primer; Second and third, alkyd base enamel, Benjamin Moore Impervo or equal, finish as selected by Owner, second coat tinted to differentiate from final coat. Putty prior to primer coat. Sand between coats. All window muntin grilles to be painted or stained at inside to match adjacent woodwork finish, and painted at exterior to match window color.

**DRYWALL WALLS AND CEILINGS:** to be painted with three coats: First, latex wall primer; Second and third, latex enamel. After initial priming, inspect all surfaces and re-prime as required following surface corrections, if any. Prime and paint all edges of all doors, including top and bottom edges, after trimming, shaving, undercutting or other adjustments to doors. Prime and finish paint all edges of windows and exterior doors.

**SPECIFICATIONS DIVISION 11 EQUIPMENT**

**APPLIANCES AND EQUIPMENT:** All appliances as shown on drawings to be installed by The Contractor, and contract price must include all electric circuitry, gas supply piping, or other required infrastructure to support appliances and equipment

**SPECIFICATIONS DIVISION 22 - PLUMBING**

**GENERAL:** All plumbing work shall meet or exceed requirements of the latest edition of the National Plumbing Code and all other applicable codes and ordinances. Water supply lines shall not be installed in exterior walls less than 6" (nom.) thick. Lines in 6" walls shall have a minimum of R-12 insulation behind them. Water supply branches to plumbing fixtures to be 3/4" diameter, to include enlargement of existing supply branches as required.

**SUPPLY PIPING:** Water pipes to be Type L copper, sized and arranged to provide even pressure and temperature to all fixtures, with 18" air chambers and shut off valves for hot and cold supply lines at each fixture. No ferrous metal to be in contact with copper lines. Hot & cold water lines in un-heated spaces shall be wrapped with ¾" thick, closed-cell, foam insulation.

Cross-Linked Polyethylene (PEX) Water Supply Piping is an approved alternate. Provide supply manifold(s) with dedicated runs less than 25 feet to each fixture to allow for shut-off to individual fixtures. HOSE BIBBS: to be all copper, frost free, anti-siphon type. Provide ONE hose-bibbs, minimum, as part of Work.

**SANITARY/WASTE PIPING:** Soil, waste and vent lines to be PVC, vents penetrating rear roofs. All soil and waste piping in ceilings and walls of finished living spaces to be situated to avoid contact with framing and drywall, areas where piping and framing are in close proximity shall be filled with expandable foam. Floor joist or stud spaces at soil or waste lines shall be insulated with dense pack cellulose acoustical insulation.

**PLUMBING FIXTURES:** Plumbing fixtures shall be selected by the Owner under allowance. Fixtures shall be purchased, delivered, stored, and installed by the Contractor. Contractor shall protect new plumbing fixtures, including fiberglass shower or bath units if applicable, from damage or staining during construction. Acrylic shower or tub base units to be solidly set into mortar base.

**SPECIFICATIONS DIVISION 23 - HEATING, VENTILATING, AIR CONDITIONING**

**DIFFUSERS:** Where floor-type diffusers are installed in hardwood floor, baseboards, or kickplates, the diffuser shall be wood to match the surrounding finish (DIFFUSERS IN WOOD FLOORS SET FLUSH INTO FLOORING).

Where floor-type diffusers are installed in tile, the diffuser shall be metal painted to match tile. Where floor-type diffusers are installed in carpet, the diffuser shall be metal colored to match carpet. **BATHROOM VENTILATION:** Provide all bathrooms with mechanical exhaust sized in accordance with code but in no case less than 110 CFM per fan, providing minimum 8 ACH. Vent to exterior. **KITCHEN RANGE EXHAUST:** rigid-ducted venting for hood exhaust to exterior

**SPECIFICATIONS DIVISION 26 - ELECTRICAL**

**GENERAL:** ALL ELECTRICAL WORK TO COMPLY WITH THE 2017 NEC. Provide and install all electrical materials shown or inferred in The Drawings, including hook-ups of all new appliances, mechanical equipment or other electrical devices shown. Disconnect, terminate, rewire or relocate all existing electrical devices as required for new construction and as noted on Electrical and Demolition Plans or as required to meet all applicable codes.

The Contractor shall calculate electrical load requirements for all existing and new work, feed new circuits from existing subpanel(s), or provide and install new Square D, or approved equal, circuit breaker type main/sub distribution panel, sized to accommodate new and existing electrical load requirements and an additional 25% capacity for future electric work, if required. The Base Bid shall include all labor and material costs associated with relocating the existing meter and service entrance and with upgrading the electrical service into the house, if required to accommodate electric requirements specified herein. Any wall device mounting boards, for electrical distribution panels or other devices, shall be fabricated from ¾" MDO sheet material, primed and finish painted beige prior to the installation of any devices.

**WIRING:** Wiring layout, circuiting, materials and installation shall conform to the requirements of latest edition of the National Electric Code. Electrical contractor must use 12 gage wiring at a minimum. #14 wire is not acceptable unless contractor acquires written approval from Owner.

**CIRCUIT PROTECTION:**

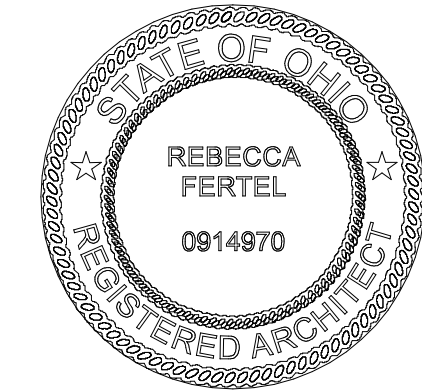
AFCI PROTECTION: All 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets or devices installed in dwelling living spaces shall be protected.

GFCI PROTECTION: Include in Bid the installation of GFCI protected outlets where shown on The Drawings and in all other locations per applicable codes.

**OUTLETS:** In all areas dwelling areas, all non-locking-type, 125-volt, 15- and 20-ampere outlet receptacles shall be tamper-resistant. ELECTRICAL WALKTHROUGH: Before wiring, all outlet work boxes shall be tacked in place where shown on The Drawings, and exterior lantern or outlet locations marked on sheathing, reviewed with The Architect and The Owner, and relocated as directed.

**EXTERIOR LIGHTING:** Exterior wall lanterns shall be installed on mounting blocks.

**SMOKE DETECTORS:** to be provided per Residential Code of Ohio, R313: The residence shall be wired for smoke detectors per requirements for a new residence. All smoke detectors to be interconnected and hardwired. Carbon-monoxide detectors to be installed in locations per applicable codes and manufacturer's recommendations.



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 rf 2031

Additions and Renovations to

Schwartz Residence  
 2373 Beachwood Boulevard,  
 Beachwood, Ohio 44122

Project Notes

Issued for

11/20/2025	Preliminary
12/29/2025	Revised
1/8/2026	Expanded
2/13/2026	P&Z

Drawing number

**A-10**

## Residential Calculations

Date: 02/23/2026

Address: 2373 Beachwood Blvd.

Lot Information: 78.00' x 143.00'

Total square foot of Lot Area: 11,154.00'

### **Building Setback Line:** BCO 1113.06 (a) (b) (c)

Distance of building line back from the right of way shall be 20% of the depth or 35' whichever is greater.

Required: 35.00'

Proposed: 35.00' No change to front setback

### **Rear Yard:** BCO 1113.08 (a)

30% of Average depth, but such least dimension need not be more than forty feet. (40')

Required: 40.00'

Proposed: 31.09'

**Variance: 8.91'**

### **Side Yards:** BCO 1113.07 Table

Along the side line of a corner lot, the distance of the building line back from the street right of way line shall be 20% of the average width of such lot, or 20' whichever is greater.

Required: 7.00' and 20.00' Wendover Side.

Proposed: 7.10' and 20.3' Wendover Side. No changes to side yard setbacks.

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner

DATE: March 14, 2026



RE: **P&Z 2026-5**      **Rebecca Fertel, Architect**  
**Steve Schwartz & Andreia Brunstein**  
**2373 Beachwood Boulevard**  
**Rear Setback Variance**

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This request is for approval of a rear yard setback variance of 8.1 feet to accommodate a proposed addition onto the rear of the existing dwelling. The subject site is a corner lot located at the intersection of Beachwood Boulevard and Wendover Drive and is located in the U-1 Single Family Residential District. Section 1113.03 requires a rear yard setback in U-1 Districts of 40 feet. The applicant is proposing to locate the addition 31.9 feet from the rear lot line. The required variance would be approximately 20% of the setback distance. The encroachment would be approximately 187.5 square feet or about 6% of the Code required rear yard area.

Since the subject site is a corner lot, the addition would back up to the side lot line of the adjacent dwelling. Even with the variance, however, the proposed addition would be further from the adjacent house than the typical side yard setback. The applicant applied for a somewhat smaller rear setback variance in 2020 that was approved, but because the addition was not constructed, the variance became null and void.

Should the Commission determine to grant the variance, the following findings and stipulations are recommended:

1. Pursuant to Section 1159.04 it is determined that a practical difficulty will result on the subject site from the literal enforcement of Code Section 1113.03 with regard to the minimum required rear yard setback.
2. Granting a variance of 8.1 feet to Section 1113.03 to permit the dwelling to be located 31.9 feet from the rear lot line in lieu of the 40 feet required by Code.

## MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: March 26, 2026

Report Date: March 09, 2026

To: Brian Roenigk  
From: Joseph R. Ciuni P.E. P.S.  
City Engineer

### **AGENDA ITEM - 5**

**P & Z 2026 -05                      Rebecca Fertel has requested an 8.91-foot rear yard setback variance for an addition at 2373 Beachwood Blvd., in accordance with BCO Section 1113.08(a), Rear Yards.**

There are no Engineering issues with this application. If approved, we will need an Engineering site plan showing new grading and drainage patterns for the rear yard.

Fire Prevention Bureau

## P&Z Report

**To:** Planning and Zoning Commission  
**From:** Matthew Domonkos, Assistant Chief  
**Date:** 03/09/2026  
**Re:** P&Z # 2026-5 2373 Beachwood Blvd. (Variance)

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The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief

## PLANNING & ZONING APPLICATION

Form must be completed or will not be processed

APPLICATION DATE: 02/13/2026OWNER OF BUILDING: Bred Nowit Real Estate PHONE: 216-514-1400STREET ADDRESS: 6009 Landerhaven Rd DrCITY/STATE/ZIP: Mayfield Hts, OH 44124APPLICANT: Grant Passell & Evan Pascarella PHONE: 216-644-8173COMPANY OR FIRM: Barb & BarrelEMAIL: Grantpassell@gmail.com & pascarellaevan@gmail.comSTREET ADDRESS: 2602 Edgerton Rd, University Hts, OHCITY/STATE/ZIP: University Hts, OH 44118

PRESENTER(S) TO APPEAR AT THE P&amp;Z MEETING (include name &amp; email address):

Grant Passell, Evan Pascarella

### DESCRIPTION OF THE PROPERTY:

ADDRESS: 24614 Chagrin Blvd SUITE # \_\_\_\_\_TENANT NAME: Former Beachwood Truck Park Dog DaycarePERMANENT PARCEL # 742-16-022 PRESENT USE: vacant PROPOSED USE: Restaurant Bar.PURPOSE OF APPLICATION: Seeking conditional use permit for dog daycare at this location.

NATURE OF THE REQUEST (check as many as apply):

- Preliminary site plan approval  
 Final site plan approval  
 Lot split  
 Lot consolidation  
 Conditional use permit  
 Rezoning  
 Zoning text amendment  
 Other \_\_\_\_\_  
 Request for a variance.

Must provide a "Box Score" indicating permitted area, distance, etc. and requested area, distance, etc. with application.

Please explain reason for variance (must indicate a hardship):

We need this permit to run our business at this location.

Are there any special issues regarding this application that should be brought to the attention of the Planning Commission and Staff? If so, please explain. \_\_\_\_\_

\*\*\*\*\* CONTINUED ON NEXT PAGE \*\*\*\*\*

**Planning & Zoning Submission Requirements:**

- Attach site plan of the proposed development with details such as square footage, height, purpose.
- Attach an aerial photo depicting the property and surrounding area (these are available online via County Auditor's GIS website or Google Earth).
- Attach copy of the Auditor's Report from the Cuyahoga County website indicating the real estate taxes for the property have been paid on a current basis.
- Any Planning & Zoning application which requires Council approval must have a representative attend the scheduled Council meeting.

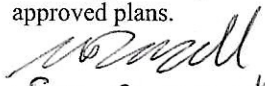
**Planning & Zoning Submission Filing Fees & Deposits:**

A non-refundable filing fee in the amount of thirty-five dollars (\$35.00) shall be paid to the City for each application submitted to the Planning and Zoning Commission; and...

A cash fee in the amount set forth in the following schedule shall be submitted in addition to the filing fee listed in subsection (a) hereof, at the time of application to the Planning and Zoning Commission and/or Council:

	<u>Zoning District</u>	<u>Fee</u>
(1)	U-1, A-1 / U-1, A-2 / U-2 / U-2A / Variances Includes all applications to the Planning Commission and/or Council except applications for lot splits and/or consolidations plats, easement applications, and any application required to be recorded with the County Recorder's Office.	\$300.00
(2)	All other Zoning Districts for site development plan review (new building/addition)	\$5,000.00
(3)	All lot split and/or consolidation plats, easements, and any application required to be recorded with the County Recorder's Office	\$1,500.00
(4)	For all Zoning Districts, excepting U-1, A-1/U-1, A-2/U-2/ and U-2A, all other applications, including, but not limited to: special use permits, conditional use permits, variances, text amendments, or similar or harmonious use	\$750.00
(5)	Map Amendment	\$2,500.00

We, the building owner and/or applicant, with our signature below, hereby agree to follow specifically the plans submitted to and approved by the Planning and Zoning Commission and do agree to construct said building(s) as depicted on said approved plans.

  
 \_\_\_\_\_  
 Evan Pascarella  
 SIGNATURE

Grant Russell  
 \_\_\_\_\_  
 Evan Pascarella  
 PRINTED NAME

02/13/26  
 \_\_\_\_\_  
 DATE

\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\*

PLANNING & ZONING COMMISSION - P&Z No. \_\_\_\_\_ MEETING DATE: \_\_\_\_\_

FEE: RECEIPT # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_ DATE PAID \_\_\_\_\_

Preliminary Approval: \_\_\_\_\_  
 Date

Final Approval: \_\_\_\_\_  
 Date

Recommendation to Council:  YES  NO Meeting Date: \_\_\_\_\_

 An official website of the Cuyahoga County government. Here's how you know



# CUYAHOGA COUNTY, *Ohio*

## MyPlace

**Please be advised that the Fiscal Office identified a clerical error that was submitted to the State of Ohio. This error resulted in an incorrect tax rate calculation for Class II properties only (Commercial/ Industrial) for Tax Year 2024/Collection Year 2025. The Fiscal Office worked with the State of Ohio to correct the error. The correction will appear on tax bills due in February 2026 as an omitted tax.**

**\*THIS DOES NOT AFFECT RESIDENTIAL PROPERTY\***

**For questions, please call 216-443-7420, Option 3 (Appraisal Department).**

Search

City  

Search By  Owner  Parcel  Address



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### PROPERTY DATA

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<a href="#">Board of Revisions Cases</a>

**Primary Owner**

FIRE STATION DRIVE LLC

**Property Address**

24619 CHAGRIN BLVD BEACHWOOD,OH 44122

**Tax Mailing Address**

KOWIT, BRAD 6009-B LANDERHAVEN DR MAYFIELD HTS, OH 44124

**Description**

49

**Property Class**

OTHER RETAIL STRUCTURES


**Parcel Number**

742-16-022

**Taxset**

Beachwood

**Tax Year**

2025 Pay 2026 

PAY BY E-CHECK OR CREDIT/DEBIT CARD

## Summary By Tax Year 2025 Pay 2026

Please use the Pay Your Taxes Online to pay your tax bill for the current tax year

Taxable Assessed Values

Land Value	\$145,110
Building Value	\$163,660
Total Value	<u>\$308,770</u>

First Half Year Charge Amounts

Gross Tax	\$18,790.20
Less 920 Reduction	\$7,357.67
Sub Total	\$11,432.53
Non-business Credit	\$ .00
Owner Occupancy Credit	\$ .00
Homestead Reduction	\$ .00
Total Assessments	\$ .00
Half Year Net Taxes	<u>\$11,432.53</u>

Taxable Market Values

Land Value	\$414,600
Building Value	\$467,600
Total Value	<u>\$882,200</u>

Second Half Year Charge Amounts

Gross Tax	\$18,790.20
Less 920 Reduction	<u>\$7,357.67</u>
Sub Total	\$11,432.53
Non-business Credit	\$ .00
Owner Occupancy Credit	\$ .00
Homestead Reduction	\$ .00
Total Assessments	<u>\$ .00</u>
Half Year Net Taxes	<u><u>\$11,432.53</u></u>

Flags

Owner Occupancy Credit	N
Homestead Reduction	N
Foreclosure	N
Cert. Pending	N
Cert. Sold	N
Payment Plan	N

Rates

Full Rate	121.71
920 Reduction Rate	.391569
Effective Rate	74.052084

Escrow

Escrow	N
Payment Amount	\$ .00

Tax Balance Summary

Charges

**\$22,933.52**

Payments

**\$ .00**

Balance Due

**\$22,933.52**

**2025 (pay in 2026) Charge and Payment Detail**

Taxset	Charge Type	Charges	Payments	Balance Due
<b>Beachwood</b>				
	1st omitted tax	\$68.46	\$ .00	\$68.46
	1st half tax	\$11,432.53	\$ .00	\$11,432.53
	1ST HALF BALANCE	\$11,500.99	\$ .00	\$11,500.99
	2nd half tax	\$11,432.53	\$ .00	\$11,432.53
	2ND HALF BALANCE	\$11,432.53	\$ .00	\$11,432.53

**C100030C-SEWER MAINTENANCE**

1st half tax - 2025	\$ .00	\$ .00	\$ .00
1ST HALF BALANCE	\$ .00	\$ .00	\$ .00

Total Balance

Charges	Payments	Balance Due
<b>\$22,933.52</b>	<b>\$ .00</b>	<b>\$22,933.52</b>

PAY BY E-CHECK OR CREDIT/DEBIT CARD

Top

View Map

Updated :02/13/2026 03:42:16 AM

Disclaimer: Cuyahoga County provides this geographic data and related analytical results as a free public service on an "as is" basis. Cuyahoga County makes no guarantee(s) or warranty(ies) as to the accuracy, completeness, or timeliness of the information contained herein, and said information is not intended to, nor does it, constitute an official public record of Cuyahoga County. While much of the data contained herein is compiled from public records, the official records of the public office or agency from which they were compiled remains the official record of any such public office or agency. **By accessing, viewing or using any part of the site, you expressly acknowledge you have read, agree to and consent to be bound by all of the terms and conditions listed on this site. Routine maintenance is performed on Fridays and disruptions may occur. We apologize for any inconvenience.**

WATER DEPARTMENT OFFICIALS: AS OF JANUARY 1, 2021 PLEASE UTILIZE THE TRANSFER TAB ON THE MYPLACE SITE TO DETERMINE OWNERSHIP FOR CREATING OR CLOSING ACCOUNTS. PARCEL DATA ON PROPERTY TRANSFERS ARE UPDATED DAILY. THEREFORE, YOU CAN NOW RELY ON THIS SITE FOR ACCURATE REAL PROPERTY OWNERSHIP. YOU ARE ALSO WELCOME TO ACCEPT COPIES OF RECORDED DEEDS FROM OUR OFFICE.

THANK YOU

EXHIBIT A

RE: LETTER OF INTENT TO LEASE APPROXIMATELY 7,400 SF

The following is an Agreement in principle between PASSELL AND PASCARELLA HOLDINGS LLC, TENANT and FIRE STATION DRIVE LLC, LANDLORD. It is subject to both parties signing a mutually-acceptable Lease Agreement.

**LOCATION:** 24619 Chagrin Boulevard  
Beachwood, Ohio 44122  
Permanent Parcel 742-16-022

**SQUARE FOOTAGE:** 7,400 sq ft - APPROX. *(PK)*

**LEASE TERM:** 124 month lease (4 months free to build out space)

**POSSESSION/ BUILDOUT:** Possession upon lease execution. Rent commencement shall be 120 days from delivery or upon occupancy permit whichever is sooner but no longer than 150 days; approved by the Landlord due to unexpected construction delays and permitting delays.

**OCCUPANCY DATE:** Tenant to open business on or before 120 days from delivery but no longer than 150 days.

**OCCUPANCY USAGE:** Doggie Day Care/Restaurant and Bar- A supervised area for dogs during the day to socialize, play and engage in various activities. For example, birthday parties etc for dogs. The restaurant and bar is a totally separate area of the facility for dog owners to enjoy a bite to eat and beverage.

**BASE RENTAL:** *(PK)* Fixed rent: 162,800 yrs 1-3  
2% annual increases  
\$22 psf; 2% annual increase after Year 3

**OPTION TO RENEW:** (Two) 5 year option to renew at 2% increase PER YEAR

**SECURITY DEPOSIT:** TBD 1 months rent 3% *(PK)*

**PURCHASE OPTION:** N/A

**COMMON AREA:** *(PK)* N/A Tenant to maintain exterior STOWERS including LANDSCAPING, SNOW REMOVAL.  
Tenant to pay real estate charges

**REAL ESTATE TAX CHARGES:**

**ALTERATIONS BY TENANT:** All improvements above and beyond Landlord's delivery condition required for Tenant's use, which may include but not limited to: Signage, dividing space for doggie daycare and restaurant/bar. Install elevator or alternative stair lift. Turf and fence

outdoor area. Determine outdoor space closed off for the dogs. Provide necessary equipment. All improvements to be approved by landlord.

**ALTERATIONS BY LANDLORD:**

Ensure HVAC, plumbing and electricity are in proper working order. Deliver space "as in" condition.

**CONTINGENCIES:**

All terms and conditions are contingent upon tenant receiving all approved permits to operate and this includes approval of a liquor license from the DOLC.

**UTILITIES:**

Tenant responsible for utilities to include water, sewer and internet services.

**BROKER:**

Both Tenant and Landlord acknowledge McMullan Realty Inc as the Co-Broker with a 3% Brokers fee. ~~Lease renewal option 1% Brokers fee.~~

(74)

Liquor Licence:

Landlord has liquor licence available for sale, currently in safe keeping.

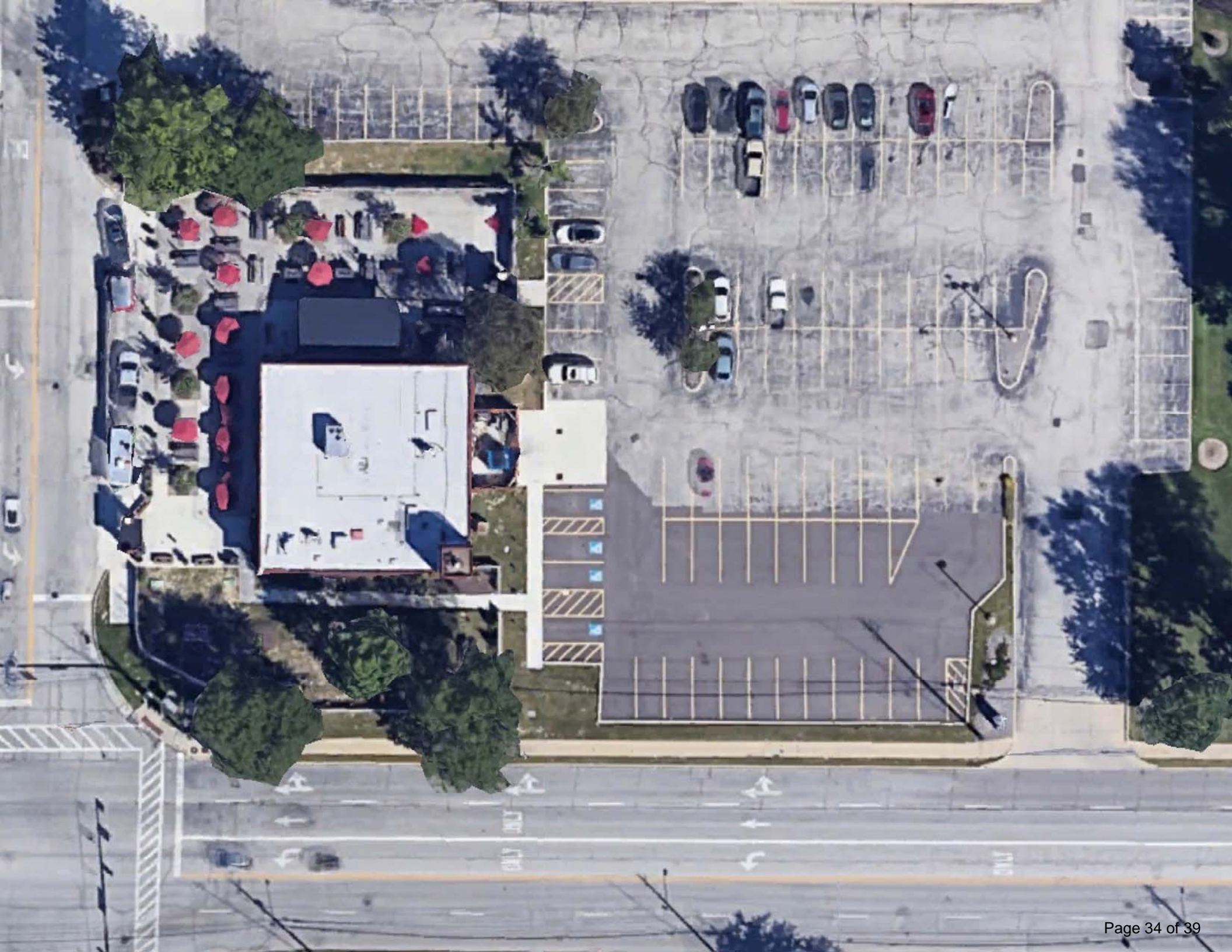
AGREED TO AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_.

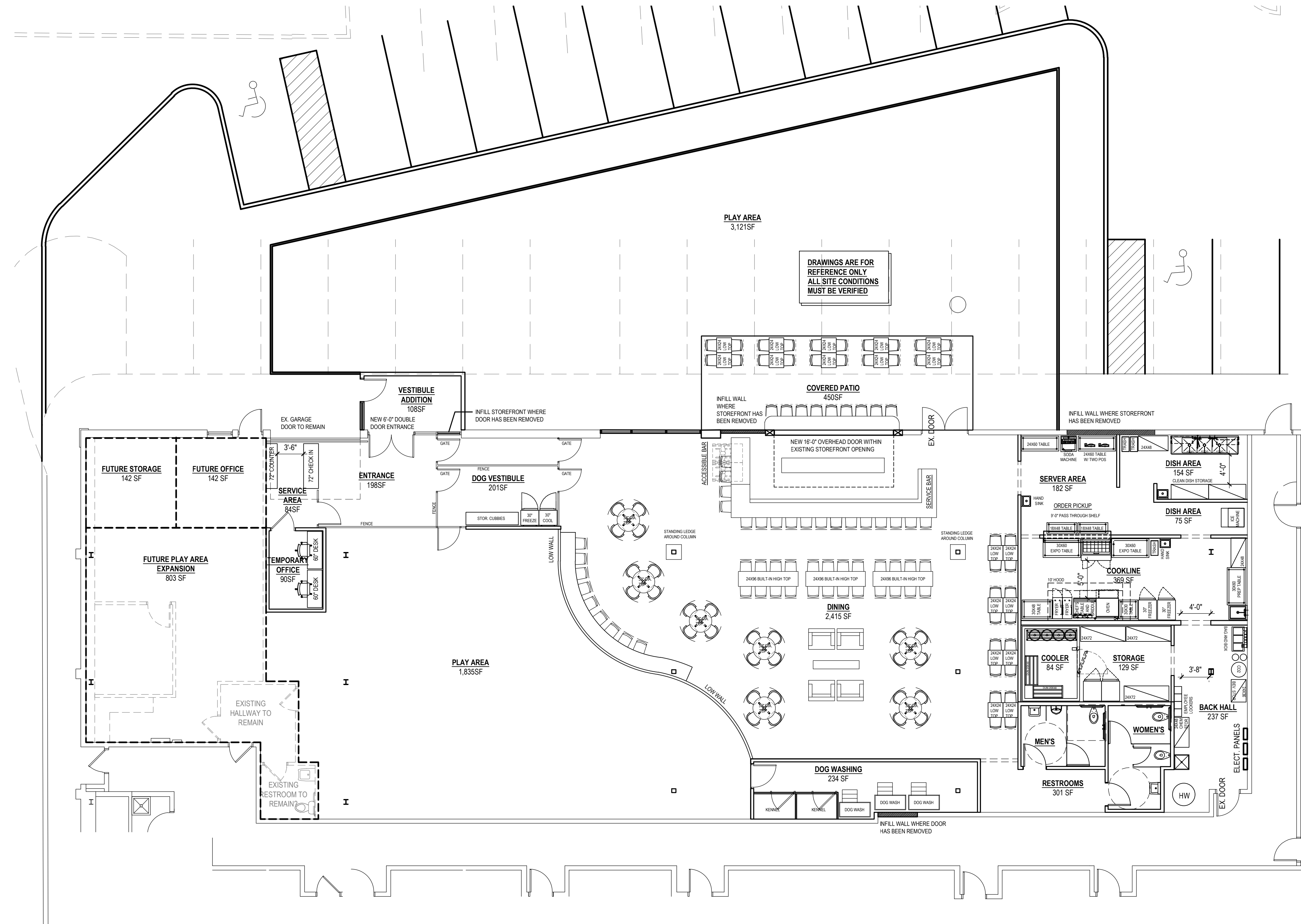
Signed by: Grant Passell / / 11/18/2025  
667BE2946A534A1  
Tenant/Lessee Signature Date

DocuSigned by: [Signature] / / 11/18/2025  
E6664F5914954E2  
Tenant/Lessee Signature Date

[Signature] 11 24 / 25  
Owner/Lessor Signature Date

DocuSigned by: [Signature] / / 11/18/2025  
110FAE71AC4CA41  
Broker/Agent Signature Date





**SCHEMATIC FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

Design and construction documents as instruments of services are given in confidence and remain the property of Onyx Creative. The use of the design and these construction documents for purposes other than the specific project named herein is strictly prohibited without expressed written consent of Onyx Creative.

Tenant Fit-Out  
**BARK & BARREL**  
SHAKER PLAZA  
20040-20200 VAN AKEN BLVD.  
SHAKER HEIGHTS, OH 44122

Project No.: 25.0339  
Drawn By: JAY  
Date Issue  
09-05-25 SD

# Tactical Planning, LLC

P.O. Box 3163  
Cuyahoga Falls, Ohio 44223  
Ph: 440-725-1886  
geosmerigan@gmail.com

TO: Beachwood Planning Commission

FROM: George Smerigan, City Planner



DATE: March 18, 2026

RE: **P&Z 2026-6 Grant Passell & Evan Pascorella  
Brad Kowit Real Estate  
24619 Chagrin Boulevard  
Similar Use Determination  
Conditional Use Permit**

This request is for approval of a dog day care facility as a similar use in the U-4A Integrated Business District. The applicants are seeking to establish a combination of a dog day care facility along with a restaurant and bar. The subject site is the former fire station and truck park site located at the intersection of Fire Station Drive and Chagrin Boulevard. The restaurant and bar portion of the proposed operation is permitted in the U-4A District; however, the dog care facility is not a listed permitted use in that District. Currently the only place where pet care facilities are permitted is in the U-8 District. It should be noted that pet stores are a permitted use in the U-4A District, and historically those facilities have included such ancillary activities as dog grooming.

The applicants have not finalized plans pending approval of the use, but will submit final site plans and building layouts if the use is approved. They are proposing up to 100 indoor seats and 50 outdoor seats for the restaurant/bar operation. Those numbers are somewhat less than what was approved for the truck park facility. At the time the truck park operation was approved, the site had shared parking and access agreements with the adjacent parcels in order to meet parking requirements. The owners of the adjacent parcels have indicated that those cross parking and access agreements remain in place for the proposed use. The slightly lower seating capacity for the restaurant / bar should provide enough parking coverage for the dog day care operation.

The dog day care would operate Monday thru Friday from 6 am until 5 pm. Evenings and weekends they would operate a dog park until about 9 pm. Based on staffing and play areas, the applicants are proposing a maximum of about 45 dogs

P&Z 2026-6  
Grant Passell & Evan Pascorella  
Brad Kowitz Real Estate  
24619 Chagrin Boulevard  
Similar Use Determination  
Conditional Use Permit  
March 18, 2026  
Page 2

for day care. During the dog park hours, the maximum number of dogs on site at any given time will not exceed 75. The site plan indicates both indoor and outdoor exercise/play areas for the dogs. The preliminary plan indicated an outdoor play area of just over 3,100 square feet and an indoor exercise / play area of about 1,800 square feet. The exact size of those exercise / play areas will be established as part of the final site development plan approval.

Similar use determinations require the concurrence of City Council, so the Commission will need to act in the form of a recommendation to Council. All similar uses are treated as conditional uses and subject to such stipulations and conditions as the Commission and Council deem appropriate.

Should the Commission determine to recommend approval of the dog day care facility, the following stipulations are recommended:

1. The maximum number of dogs permitted on the subject site at any given time shall be 75.
2. The applicants shall provide arrangements for the control and removal of animal wastes in a manner approved by the Administration.
3. Outdoor exercise / play areas shall be fenced with a solid fence a minimum of six (6) feet in height. The final design, type, and location of the fencing shall be as shown on the final site development plan.
4. There shall be no overnight boarding of dogs.
5. Dog washing and grooming is permitted provided such facilities meet health and Building Code requirements.
6. Seating capacity for the restaurant / bar operation shall be limited to a maximum of 100 indoor seats and 50 outdoor seats.
7. Hours of operation shall be from 6 am until 9 pm unless modified by the Commission.
8. The applicants shall submit a final site development plan for approval by the Commission.

MEMORANDUM

CITY OF BEACHWOOD

PLANNING AND ZONING COMMISSION MEETING

Meeting Date: March 26, 2026

Report Date: March 09, 2026

To: Brian Roenigk  
From: Joseph R. Ciuni P.E. P.S.  
City Engineer

**AGENDA ITEM - 6**

**P & Z 2026 -06                      Grant Passell has requested approval of a conditional use permit for a dog daycare to be located at 24619 Chagrin Blvd.**

There are no Engineering comments on this application.

Fire Prevention Bureau

## P&Z Report

**To:** Planning and Zoning Commission  
**From:** Matthew Domonkos, Assistant Chief  
**Date:** 03/09/2026  
**Re:** P&Z # 2026-6 24619 Chagrin Blvd. (Conditional Use)

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The Fire Prevention Bureau has reviewed the drawings/documents submitted for this item.

1. The Fire Department has no questions or comments at this time.

*Matthew Domonkos*

Matthew Domonkos  
Assistant Fire Chief